

GENERAL NOTES:

- THESE GENERAL NOTES SHALL APPLY TO ALL WORK AND TO ALL DRAWINGS IN THIS SET AND SHALL EXTEND TO ANY CHANGES, EXTRAS OR ADDITIONS AGREED TO DURING THE COURSE OF THE WORK.
- BIDDERS ARE INSTRUCTED TO VISIT AND INSPECT THE JOB SITE PRIOR TO SUBMITTING THEIR PROPOSALS IN ORDER TO FAMILIARIZE THEMSELVES WITH ALL CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. NO SUBSEQUENT EXTRAS OR ADDITIONS WILL BE ALLOWED ON ANY CLAIM OF LACK OR KNOWLEDGE OF CONDITIONS OR CIRCUMSTANCES ABOUT WHICH THE BIDDER COULD HAVE INFORMED HIMSELF OF.
- BIDDERS SHALL MAKE KNOWN ANY LIMITATIONS, EXCLUSIONS OR MODIFICATIONS TO THE PROPOSED SCOPE OF WORK DURING THE BIDDING PHASE OF THE PROJECT. UNLESS OTHERWISE NOTED IT SHALL BE PRESUMED BY THE OWNER AND ARCHITECT THAT NONE EXIST.
- ALL CONTRACTORS INVOLVED IN THIS WORK SHALL CARRY PROPERTY DAMAGE AND PUBLIC LIABILITY INSURANCE AS REQUIRED BY THE BOROUGH OF LAWNSIDE AND SHALL COMPLY WITH STATUTORY REQUIREMENTS FOR DISABILITY AND WORKMEN'S COMPENSATION.
- THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A SPECIFIC MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED THE ARCHITECT ALONE SHALL DETERMINE THE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND VERIFY ALL GOVERNING DIMENSIONS AT THE BUILDING PRIOR TO THE COMMENCEMENT OF WORK. HE SHALL EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF HIS WORK IS IN ANY WAY DEPENDENT. ANY VARIATIONS OR DISCREPANCIES SHALL BE REPORTED WITH ALL DUE EXPEDIENCY TO THE ARCHITECT PRIOR TO THE FABRICATION OR ERECTION OF THE WORK IN QUESTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.
- THE GENERAL CONTRACTOR SHALL SUPPLY, PRIOR TO COMMENCING WORK, A LIST OF ALL SUB CONTRACTORS TO THE ARCHITECT. LIST SHALL CONTAIN THE NAME OF THE PRINCIPAL CONTACT, THE ADDRESS AND THE PHONE NUMBER OF EACH SUB-CONTRACTOR.
- GREAT CARE SHALL BE EXERCISED TO ASSURE THAT THE NEIGHBORING BUILDINGS AND PROPERTY ARE PROTECTED FROM DAMAGE THAT COULD OCCUR BECAUSE OF THIS WORK. CONTRACTORS SHALL PROVIDE PROTECTION FOR EXISTING AREAS AND NEW WORK AREAS. ANY DAMAGES DUE TO THIS WORK, OR ACCIDENT, SHALL BE REPAIRED, REPLACED OR PATCHED AT THE DISCRETION OF THE OWNER OR ARCHITECT. THE CONTRACTOR ALONE SHALL BEAR THE FINANCIAL RESPONSIBILITY FOR SUCH DAMAGE AND ANY WORK UNDERTAKEN TO CORRECT IT.
- THE CONTRACTOR SHALL EXERCISE GREAT CARE IN PROTECTING ALL MATERIALS EXISTING ON THE JOB FROM DAMAGE AND SHALL MAINTAIN PROTECTION FOR ALL TRAFFIC AREAS OF THE BUILDING TO BE USED DURING THE EXECUTION OF WORK RELATING TO THIS CONTRACT WITH THE UNDERSTANDING THAT THE CONTRACTOR WILL RECTIFY ANY DAMAGE ATTRIBUTABLE TO HIS OPERATIONS.
- TIME IS OF THE ESSENCE AND THE GENERAL CONTRACTOR SHALL KEEP SUFFICIENT WORKMEN ON THE JOB SITE AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDITIOUS MANNER, CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE, AND THE BEST INTERESTS OF THE OWNER.
- EACH TRADE WILL BE EXPECTED TO PROCEED IN A FASHION THAT WILL NOT DELAY OR DETAIN THE TRADE FOLLOWING THEM.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK OR CHANGES FOR WHICH HE EXPECTS ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR ARCHITECT. FAILURE TO OBTAIN SUCH AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR SUCH EXTRA COMPENSATION.
- THROUGHOUT THE DURATION OR THE PROJECT THE GENERAL CONTRACTOR SHALL REFRAIN FROM ACTIONS THAT COULD LEAD TO FILING OF A CLAIM OF LIEN AGAINST THE OWNER OR PROPERTY BY SUB-CONTRACTORS OR SUPPLIERS OF LABOR, MATERIALS, SERVICES OR EQUIPMENT OR BY ANY OTHER INDIVIDUAL, COMPANY, OR ENTITY SO ENTITLED UNDER GOVERNING LAWS AND REGULATIONS UNLESS HE CAN SHOW REASONABLE AND JUSTIFIABLE CASE. APPROVAL OF FINAL PAYMENT SHALL BE CONTINGENT UPON THE GENERAL CONTRACTOR OBTAINING AND FURNISHING TO THE OWNER SIGNED RELEASE FROM SUCH INDIVIDUALS, COMPANIES OR ENTITIES.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN AND IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED. CARE SHALL BE TAKEN TO ENSURE COMPLIANCE WITH ALL GOVERNMENTAL LAWS, STATUTES AND/OR ORDINANCES.
- ALL MATERIAL SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED. CARE SHALL BE TAKEN TO ENSURE COMPLIANCE WITH ALL GOVERNMENTAL LAWS, STATUTES AND/OR ORDINANCES.
- ALL MATERIAL SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT.
- MANUFACTURER MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2021 INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION.
- NO WORK SHALL BE PERFORMED OUTSIDE THE LOT LINES OF OWNER'S PROPERTY WITHOUT THE APPROVAL OF THE BOROUGH OF LAWNSIDE.

MISCELLANEOUS NOTES:

- EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ.FT. WITH A MIN. WIDTH OF 20" AND A SILL LESS THAN 44" OFF THE FLOOR WITH A MIN. HGT OF 24".
- ALL WINDOWS WITHIN 18" OF THE FLOOR AND WITHIN 12" OF ANY DOOR SHALL HAVE TEMPERED GLAZING.
- ALL RANGE HOODS WILL BE VENTED TO THE OUTSIDE.
- ALL TUB OR SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLAZING.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE DEADBOLT LOCKS ON ALL EXTERIOR DOORS AND LOCKING DEVICES ON ALL DOORS OR WINDOWS WITHIN 10' (VERTICAL) OF GRADE.
- CONNECT ALL SMOKE DETECTORS (SEE PLAN FOR LOCATION) TO HOUSE ELECTRICAL SYSTEM AND INTERLOCK EACH ONE SO THAT WHEN ANY ONE IS TRIPPED THEY ALL WILL SOUND.
- PROVIDE COMBUSTION AIR VENTS (W/SCREEN) ON ALL APPLIANCE WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS SHOULD BE VENTED TO THE OUTSIDE WITH A MINIMUM OF 3 FEET FROM ANY OPENING OF THE BUILDINGS ENVELOPE

THERMAL ENVELOPE

ASSEMBLY	TOTAL R- VALUE
EXPPOSED CEILINGS	R-49
EXPPOSED WALLS	R-20
EXPPOSED DOORS	R-4
WINDOWS	R-1.6
FLOORS (A)	R-19
SUPPLY AIR DUCTS (UNHEATED AREAS)	R-5
RETURN AIR DUCTS (UNHEATED AREAS)	R-3.5

NOTES :

- MAXIMUM GLAZING RATIO IS 12 %
 (A) APPLIES ONLY TO FLOORS EXPOSED TO EXTERIOR DESIGN TEMPERATURE
 (B) INSULATION IS REQUIRED IN EITHER FLOORS OVER BASEMENTS OR EXPOSED BASEMENT WALLS EXCEPT WHEN THE BASEMENT ENCLOSES A FOSSIL FUELED BOILER OR FURNACE. IN SUCH CASES, INSULATION IS REQ. ONLY ON THOSE BASEMENT WALLS WHERE ABOVE GRADE EXPOSURES EXCEED 50% OF THEIR INTERIOR WALL SURFACE
 (C)INSULATION SHALL BE EXTENDED OVER THE EDGE OF THE SLAB AND 24" DOWN OR ACROSS.
 (D) AT LEAST ONE AUTOMATIC OR MANUAL SET BACK THERMOSTATIC CONTROL SHALL BE PROVIDED FOR EACH HEATING SYSTEM

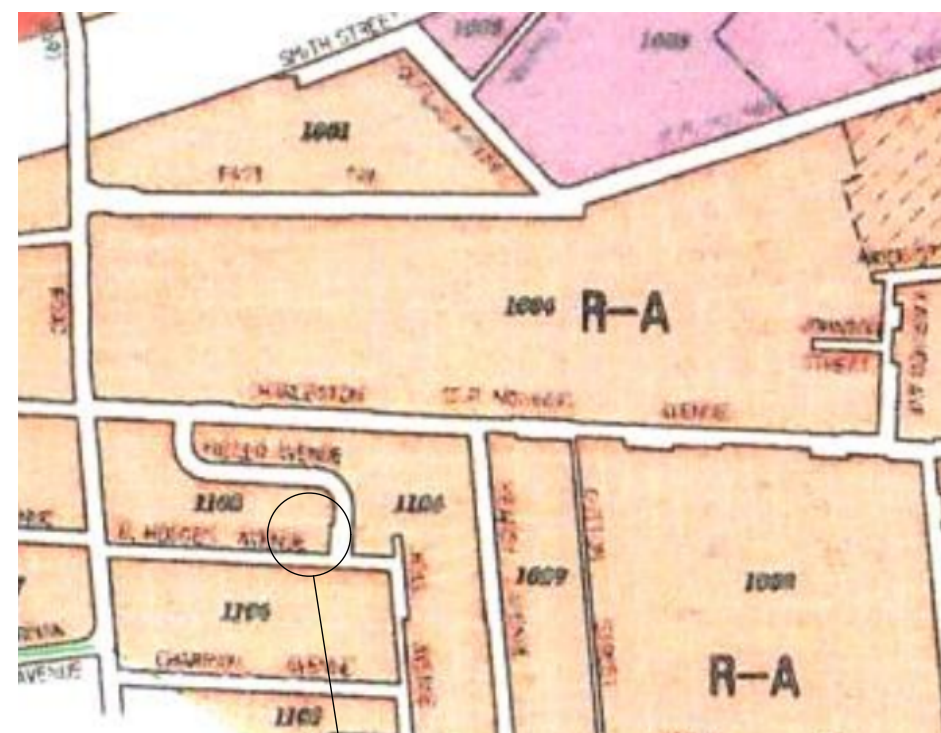
SMOKE & CO DETECTORS:

- THE DWELLING SHALL BE EQUIPPED WITH APPROVED SMOKE & CARBON MONOXIDE DETECTORS (OR COMBINATION DETECTORS) AS REQUIRED BY F-907.1.9 & F-908.7
- REQUIRED SMOKE & CO DETECTORS SHALL RECEIVE POWER FROM THE BUILDING WIRING WITH NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CIRCUIT DEVICE PROTECTING THE BRANCH CIRCUIT AS PER F-907.2.3
- REQUIRED SMOKE AND CO DETECTORS SHALL BE LOCATED WITHIN EACH ROOM USED FOR SLEEPING PURPOSES AND ON THE WALL OR CEILING OUTSIDE EACH ROOM USED FOR SLEEPING PURPOSES WITHIN 15 FEET OF THE DOOR TO SAID ROOM AS PER B-907.2.11 & F-908.7.3
- WHERE MULTIPLE SMOKE & CO DETECTORS ARE REQUIRED WITHIN AN INDIVIDUAL DWELLING UNITS THEY SHALL BE INTERCONNECTED AS PER F-908.7.4
- A CERTIFICATE OF SATISFACTORY INSTALLATION FOR SMOKE & CARBON MONOXIDE DETECTORS MUST BE FILED WITH THE DIVISION OF CODE ENFORCEMENT WITHIN TEN (10) DAYS OF INSTALLATION.

SPECIAL & PROGRESS INSPECTIONS:

MASONRY: STRUCTURAL WALLS	BC 1705.4, 2104
MASONRY: EXCAVATION AND FILING	BC 1705.6, 1804, 1805, 3304
CONCRETE: MATERIALS	BC 1705.3
CONCRETE: REINFORCING STEEL	BC 1705.3
CONCRETE: FORM WORK	BC 1705.3
CONCRETE: POST INSTALLED ANCHORS	BC 1705.3

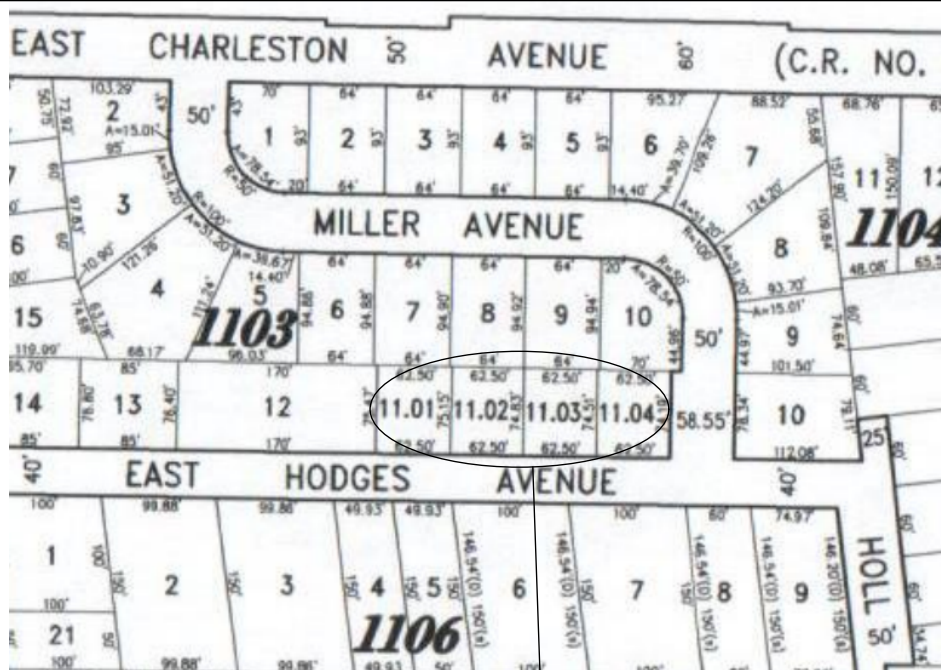
ZONING MAP



KEY MAP

ZONING MAP - BOROUGH OF LAWNSIDE
CAMDEN COUNTY, NEW JERSEY
SCALE N.T.S.

TAX MAP

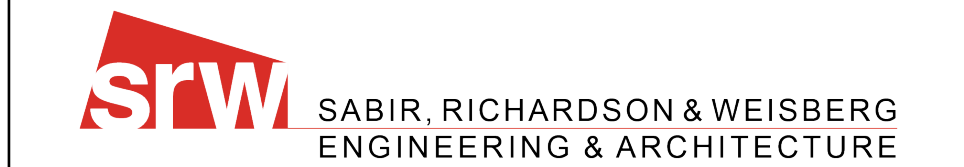


TAX MAP - BOROUGH OF LAWNSIDE
CAMDEN COUNTY, NEW JERSEY
SCALE N.T.S.

DRAWING LIST:

ARCHITECTURAL SHEET LIST

DRWG. #	DRAWING NAME	ISSUE DATE:		
G-001	GENERAL NOTES			
G-002	NOTES & LEGENDS			
A-100	FOUNDATION & FIRST FLOOR PLAN			
A-101	SECOND FLOOR & ROOF PLAN			
A-201	EXTERIOR ELEVATIONS			
A-301	BUILDING SECTIONS			
A-302	WALL SECTIONS			
A-303	WALL SECTIONS			
A-401	ENLARGED KITCHEN PLANS			
A-402	ENLAREGED BATHROOM PLANS			
A-500	FRAMING DETAILS			
A-601	DOOR LEGEND, SCHEDULE & DETAILS			
A-602	WINDOW LEGEND, SCHEDULE & DETAILS			



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PROJECT & ADDRESS

NEW HODGES AVE
39-45 HODGES AVE LAWNSIDE NJ
08045

PLOT PLAN

CLIENT

EQUIMAX DEVELOPMENT
COMPANY, LLC
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LAWNSIDE, NJ 08045

DRAWING TITLE

GENERAL NOTES

MUNICIPAL STAMP

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PROJECT NO.

2023-225

SCALE DATE

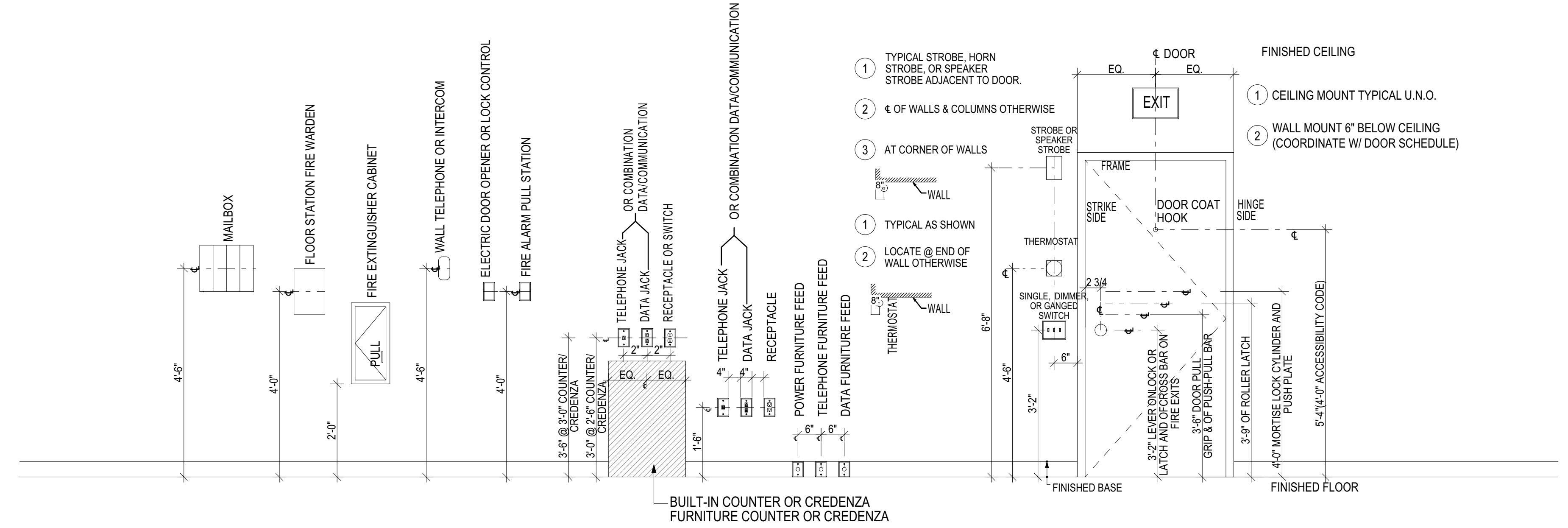
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G-001

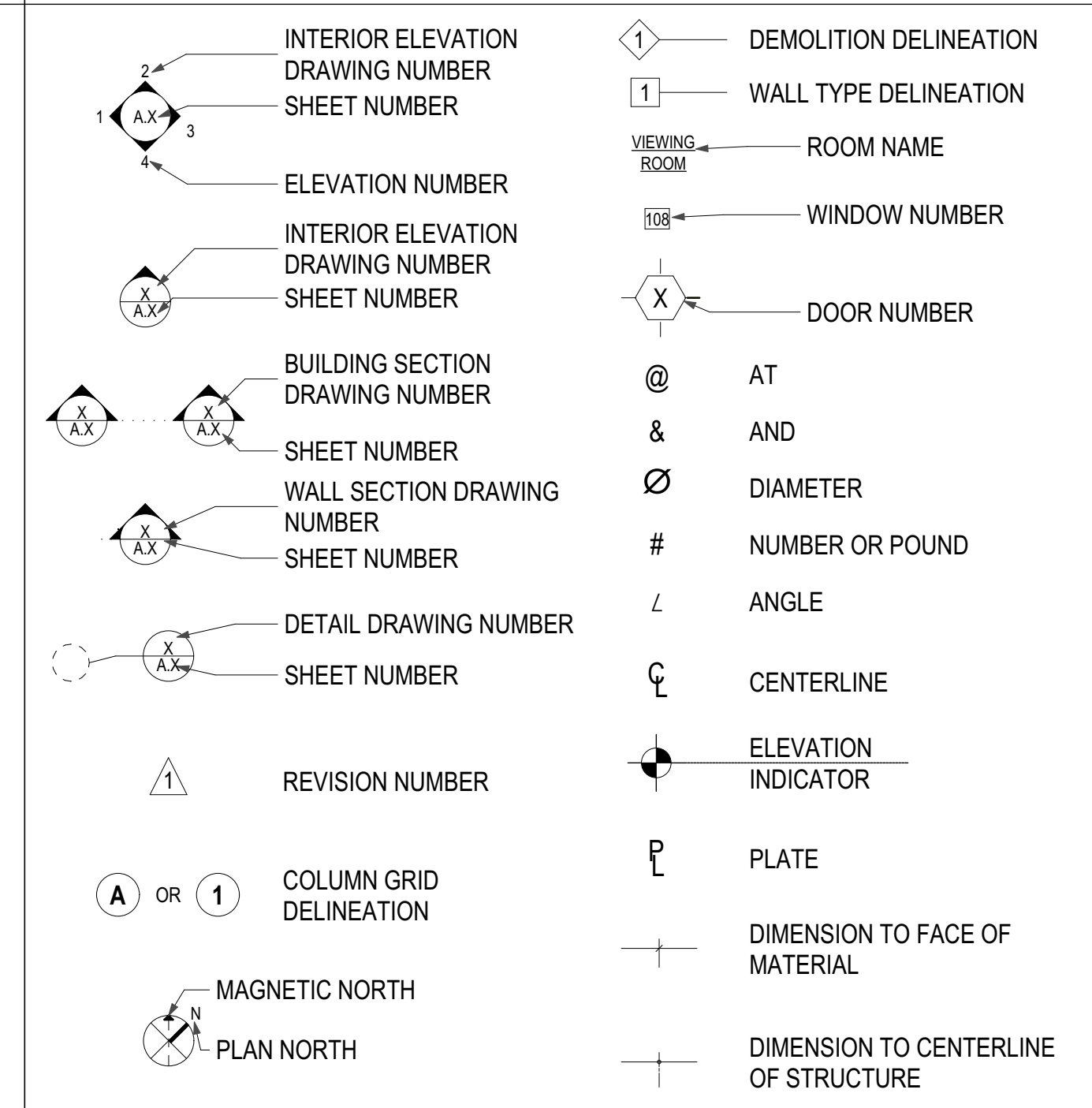
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DEVICE LOCATIONS

NOTE:
THE BELOW DELINEATED MOUNTING HEIGHTS ARE TYPICAL ONLY.
PLANS, ELEVATIONS & DETAILS MAY SHOW VARIATIONS FOR SPECIFIC CONDITIONS.



DRAWING CONVENTIONS



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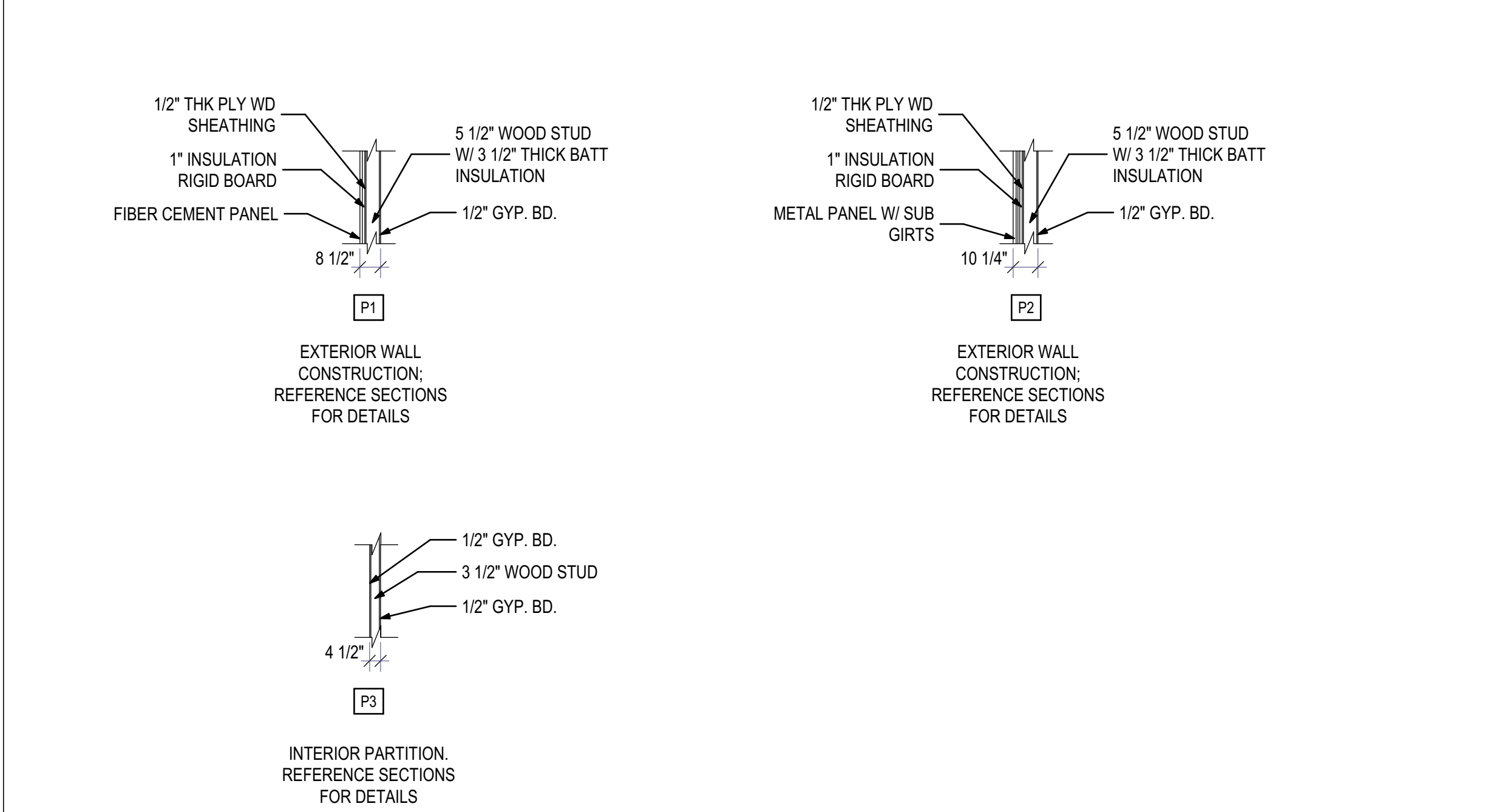
MATERIAL LEGEND

	CONCRETE MASONRY UNITS		ROOFING SHINGLES
	BRICK		STANDING SEAM ROOFING
	STRUCTURAL CONCRETE		WOOD-FINISH
	POROUS FILL, STONE OR GRAVEL		PLYWOOD-LARGE SCALE
	EARTH		PLYWOOD-SMALL SCALE
	INSULATION-BATT, BLANKET OR LOOSE		GYPSUM BOARD
	RIGID INSULATION		STEEL
	GLASS IN ELEVATION		ALUMINUM
	WOOD-CONTINUOUS LUMBER		STONE
	CERAMIC TILE		METAL LATHE & CEMENTIOUS FIRE PROOFING
	WOOD-BLOCKING		

LIST OF ABBREVIATIONS

AB	ANCHOR BOLT ABOVE	GA	GAUGE
ADJ	ADJUSTABLE	GALV	GALVANIZED
AFF	ABOVE FINISHED FLOOR	GFCI	GROUND FAULT CIRCUIT INTERRUPTER
AHU	AIR HANDLING UNIT	GL	GLASS
ALUM	ALUMINUM	GR	GRADE
ALT	ALTERNATE	GYP	GYPSUM
APC	ACOUSTIC PANEL CEILING	HB	HOSE BIB
APR	APPROXIMATE	HC	HOLLOW CORE
ARCH	ARCHITECTURAL	HDW	HARDWARE
BD	BOARD	HM	HARDWOOD
BS	BOTH SIDES	HMZ	HOLLOW METAL
BLDG	BUILDING	HP	HORIZONTAL
BLKG	BLOCKING	HPH	HIGH POINT
BM	BEAM	HR	HOUR
BN	BETWEEN	HSS	HOLLOW STRUCTURAL SECTION
BRNG	BEARING	HT	HEIGHT
BSMT	BASEMENT	ID	INSIDE DIAMETER
BUR	BUILT-UP ROOF	IN	INCH(ES)
BW	BOTH WAYS	INSUL	INSULATION
CAB	CABINET	INT	INTERIOR
CB	CATCH BASIN	JAN	JANITOR
CCTV	CLOSED CIRCUIT TELEVISION	JST	JOIST
CEM	CEMENT	JT	JOINT
CF(C)	CONTRACTOR FURNISHED/CONTRACTOR INSTALL	LAB	LABORATORY
CF(O)	CONTRACTOR FURNISHED/OWNER INSTALL	LAM	LAMINATE
CJ	CAST IRON	LAV	LAVATORY
CIP	CAST IN PLACE	LP	LOW POINT
CLG	CEILING	LTTR	LONG TERM THERMAL RESISTANCE
CL	CLOSE	LLH	LONG LEG HORIZONTAL
CLR	CLEAR	LLV	LONG LEG VERTICAL
CMU	CONCRETE MASONRY UNIT	LVL	LAMINATED VENEER LUMBER
CMU	CENTER	LT	LIGHT
CONC	CONCRETE	MAS	MASONRY
CONC	CONTINUOUS	MAX	MAXIMUM
CONC	CORRIDOR	MDF	MEDIUM DENSITY FIBERBOARD
CORR	CORRUGATED	MECH	MECHANICAL
CPT	COURSE(S)	MEP	MECHANICAL, ELECTRICAL, PLUMBING
CRS	CERAMIC TILE	MFR	MANUFACTURER
CT	CERAMIC TILE	MIN	MINIMUM
DBL	DOUBLE	MIN	MISCELLANEOUS
DEPT	DEPARTMENT	MISC	MASONRY OPENING
DET	DETAIL	MO	MODIFIED BITUMINOUS
DF	DRINKING FOUNTAIN	MOD BIT	MARBLE THRESHOLD
DIA	DIAMETER	MT	MOUNTED
DIM	DIMENSION	MTD	METAL
DN	DOWN	MTL	MULLION
DR	DARK	MUL	MEZZANINE
DR	DOOR	MEZZ	METAL
DS	DOWN SPOUT	MTL	METAL
DWG	DRAWING(S)	N	NORTH
DTL	DETAIL	N/A	NOT APPLICABLE
E	EAST	NIC	NOT IN CONTRACT
EJ	EACH	NO	NUMBER
ELEV	ELEVATION	NOM	NOMINAL
ELEV	ELEVATION	NTS	NOT TO SCALE
ELEC	ELECTRICAL	OC	ON CENTER
ELEV	ELEVATION	OCC	OCCUPANT(S)
EMER	EMERGENCY	OD	OUTSIDE DIAMETER
EPDM	ETHYLENE PROPYLENE DIENE MONOMER RUBBER	OF(C)	OWNER FURNISHED/CONTRACTOR INSTALLED
EPS	EXPANDED POLYSTYRENE INSULATION	OC/I	OWNER FURNISHED/OWNER INSTALLED
EQ	EQUAL	OFF	OFFICE
EQUIP	EQUIPMENT	OH	OPPOSITE HAND
EW	EACH WAY	OHD	OVERHEAD DOOR
ETR	EXISTING TO REMAIN	OPN	OPENING
EW	ELECTRIC WATER COOLER	OPN	OPPOSITE
EXIST	EXISTING	OSB	ORIENTED STRAND BOARD
EXT	EXTERIOR	PCC	PRECAST CONCRETE
FA	FIRE ALARM	PCFS	PERIMETER FIRE CONTAINMENT SYSTEM
FD	FLOOR DRAIN	PL	PLATE
FDN	FOUNDATION	PLAM	PLASTIC LAMINATE
FEC	FIRE EXTINGUISHER	PLYWD	PLYWOOD
FHC	FIRE HOSE CABINET	PR	PAIR
FJ	FLOOR JOISTS	PSF	POUNDS PER SQUARE FOOT
FIN	FINISH	PSL	PARALLEL STRAND LUMBER
FLR	FLOOR	PSI	POUNDS PER SQUARE INCH
FLR	FLOURESCENT	PTD	PAINTED
FOC	FACE OF CONCRETE	PVMT	PAVEMENT
FOF	FACE OF FINISH	R	RISER OR RADIUS
FOM	FACE OF MASONRY	RD	ROOF DRAIN
FOS	FACE OF STUDS	REF	REFERENCE
FRJS	FIRE RESISTIVE JOINT SYSTEM	REFR	REFRIGERATOR
FRP	FIBERGLASS REINFORCED PLASTIC	REIN	REINFORCING
FRT	FIRE RETARDANT TREATED FURRING	REQ	REQUIRED
FURR	FURRING	RES	RESILIENT
		RM	ROOM
		RO	ROUGH OPENING
		RR	ROOF RAFTERS
		RWC	RAIN WATER CONDUCTOR

WALL PARTITION LEGEND



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39-45 HODGES AVE LAWNSIDE NJ
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PLOT PLAN

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NOTES & LEGENDS

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	G-002	
	<2> OF <40>	

WALL NOTES:

- GWB IN TOILET ROOMS AND KITCHEN 'WET' WALLS SHALL BE MOLD/MOISTURE RESISTANT (PURPLE BOARD)
- ALL EXTERIOR WALLS TO BE FULLY INSULATED WITH MIN. R-21 INSULATION.
- REFER TO UL LISTING FOR RATED WALLS FOR ADDITIONAL DETAIL INFORMATION.
- ALL FIRE WALLS TO BE FIRE BLOCKED PER CODE, IF APPLICABLE
- PROVIDE BLOCKING FOR ALL CABINETS, GRAB BARS, HANDRAILS AND OTHER WALL MOUNTED OBJECTS.
- PROVIDE MOLD & MOISTURE RESISTANT GWB AT ALL WET WALLS; PROVIDE CEMENT BOARD AT CERAMIC TILED WALLS.

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FOUNDATION & FIRST
FLOOR PLAN

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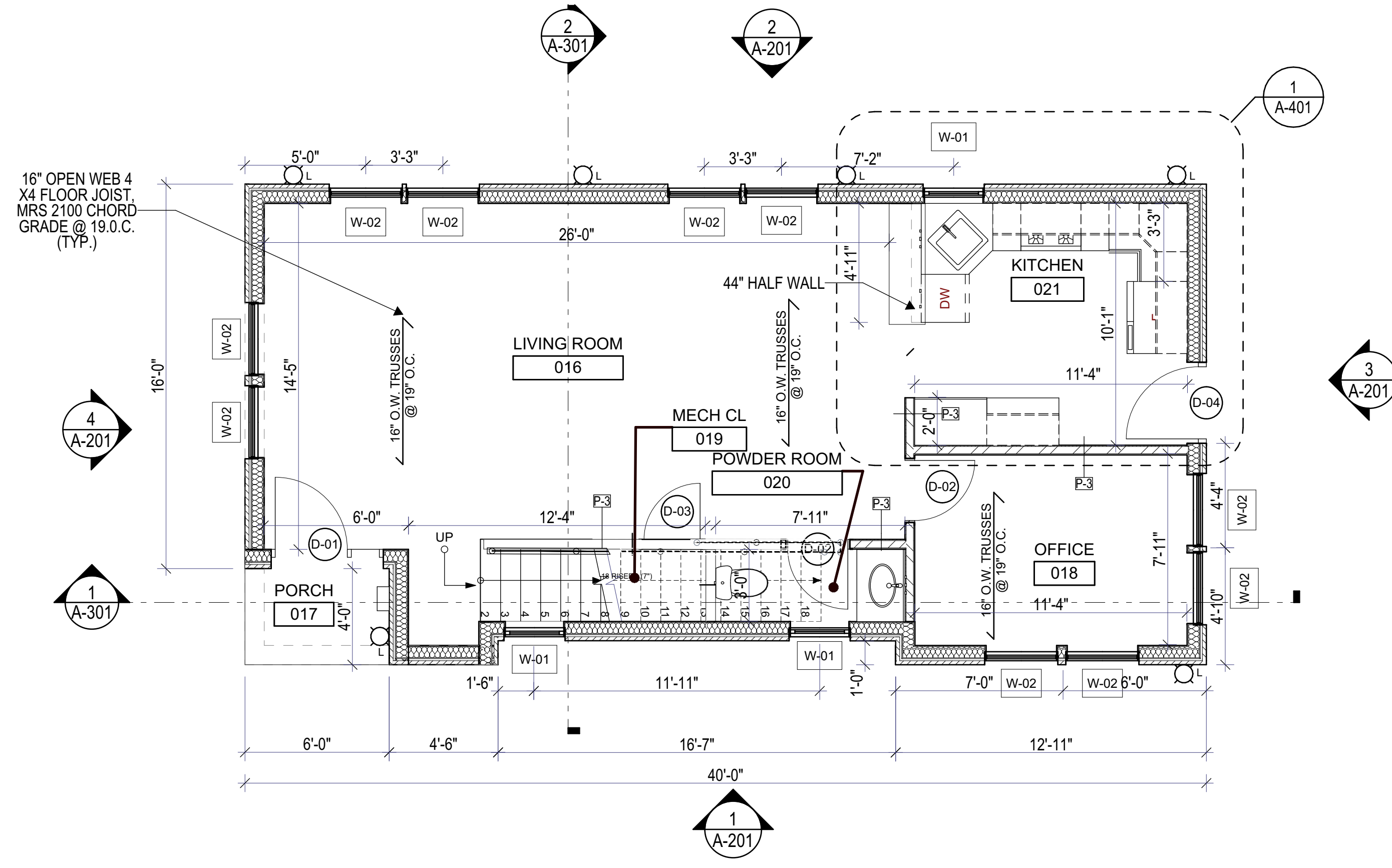
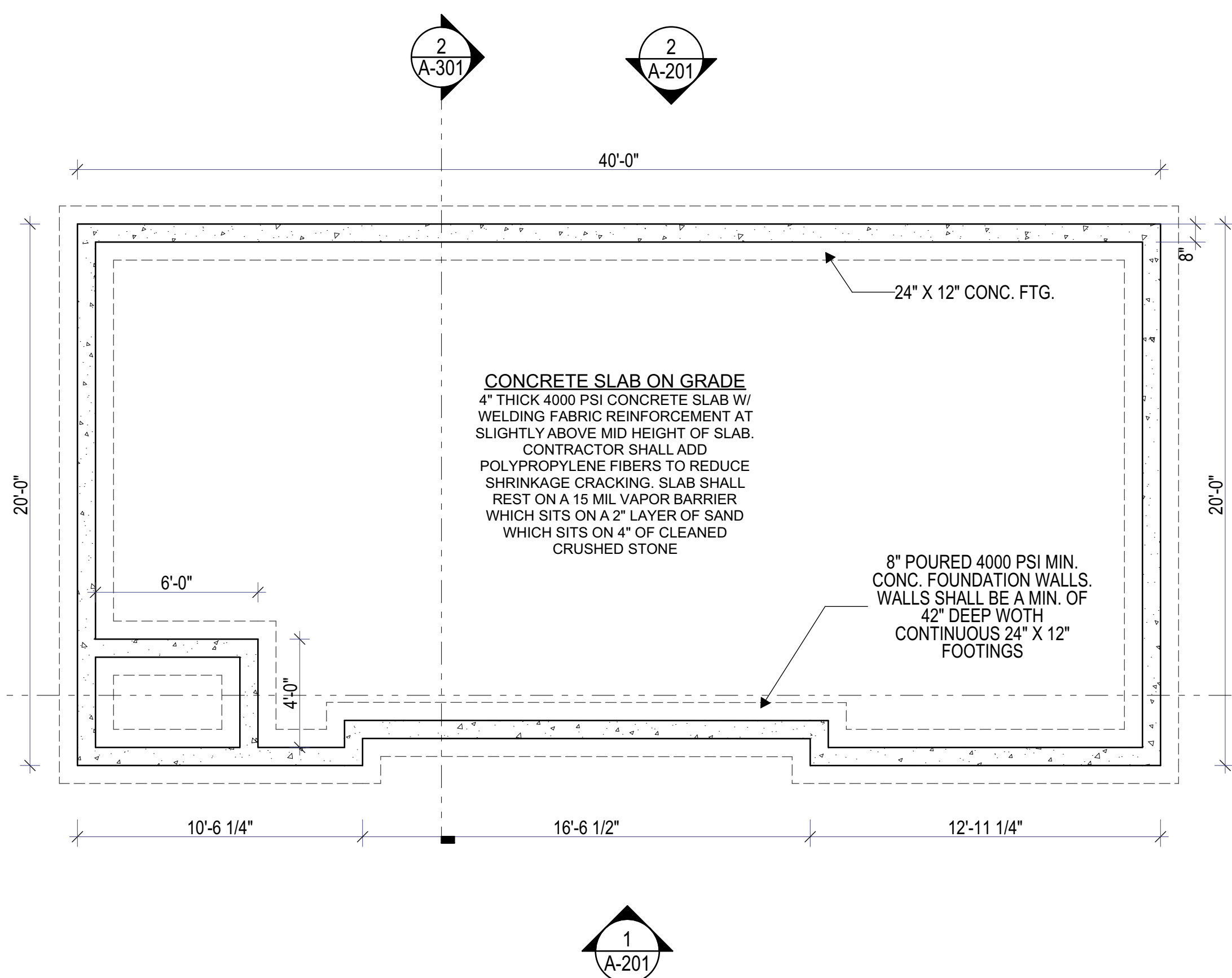
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A-100

<12> OF <40>



1 Foundation Plan
 SCALE: 1/4" = 1'-0"

2 First Floor Plan
 SCALE: 1/4" = 1'-0"

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SECOND FLOOR &
ROOF PLAN

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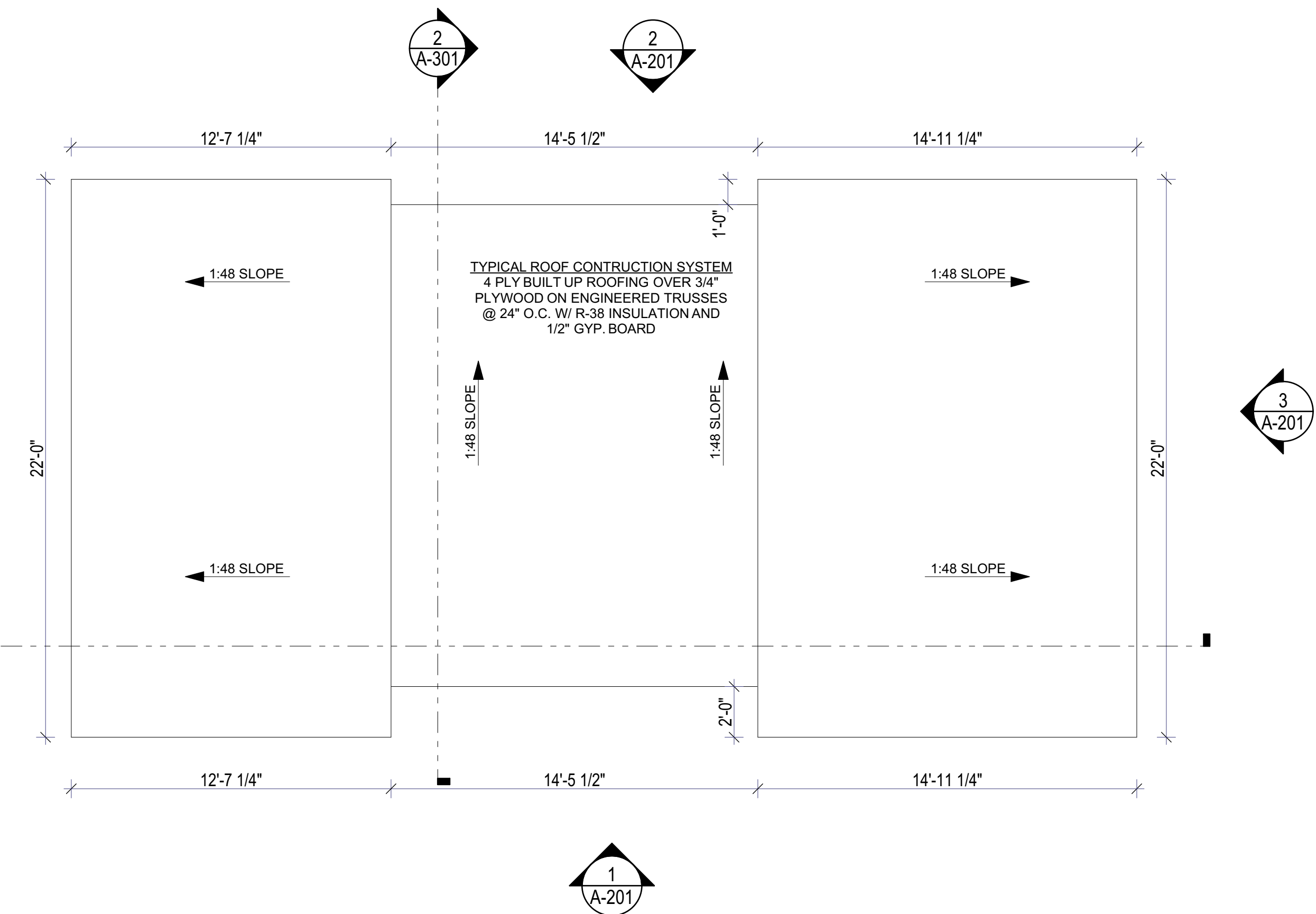
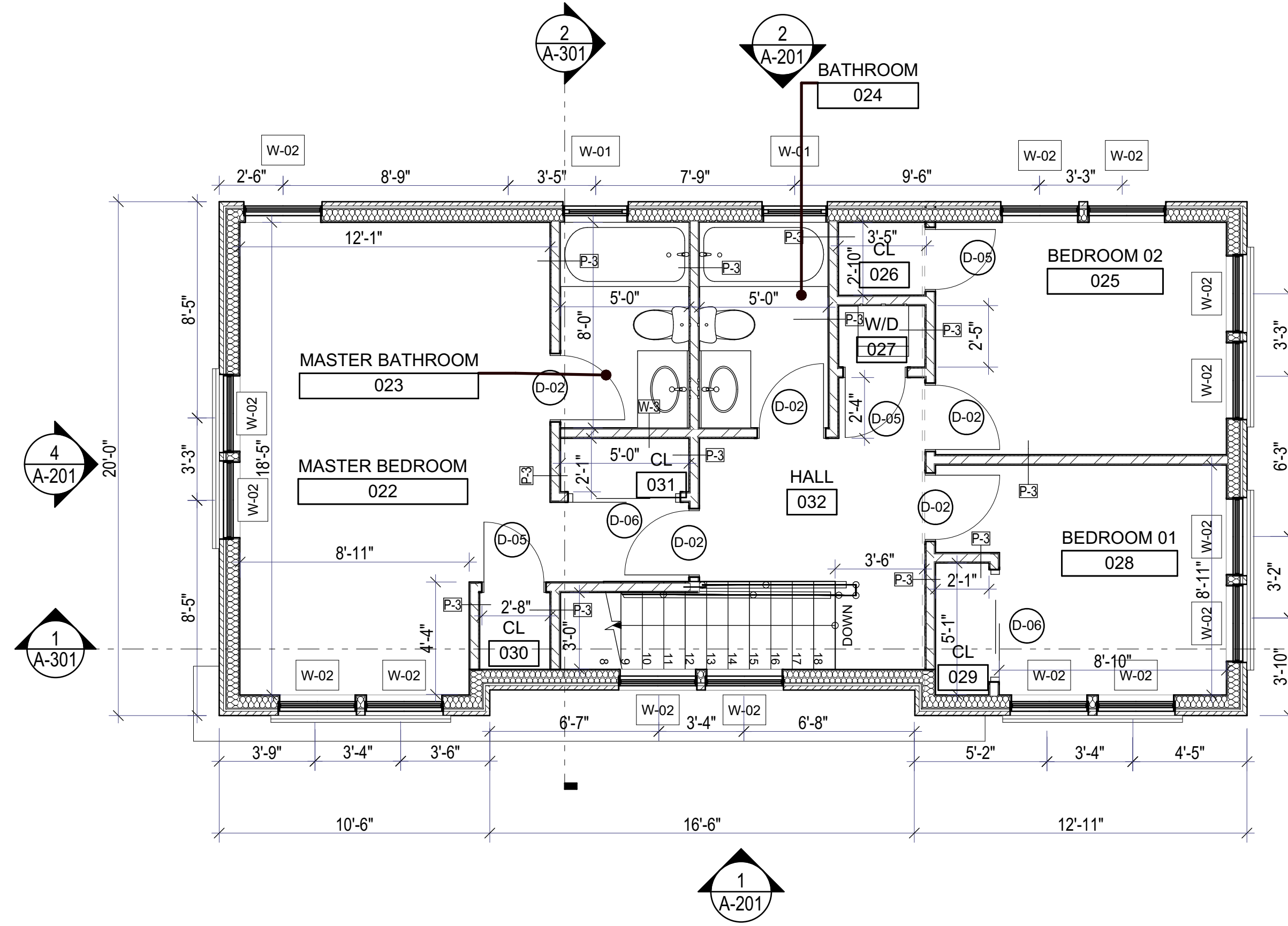
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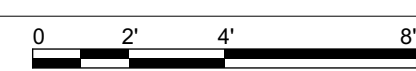
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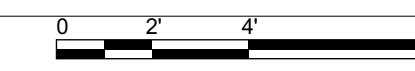
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1 Second Floor Plan
SCALE: 1/4" = 1'-0"



2 Roof Plan
SCALE: 1/4" = 1'-0"



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EXTERIOR
ELEVATIONS

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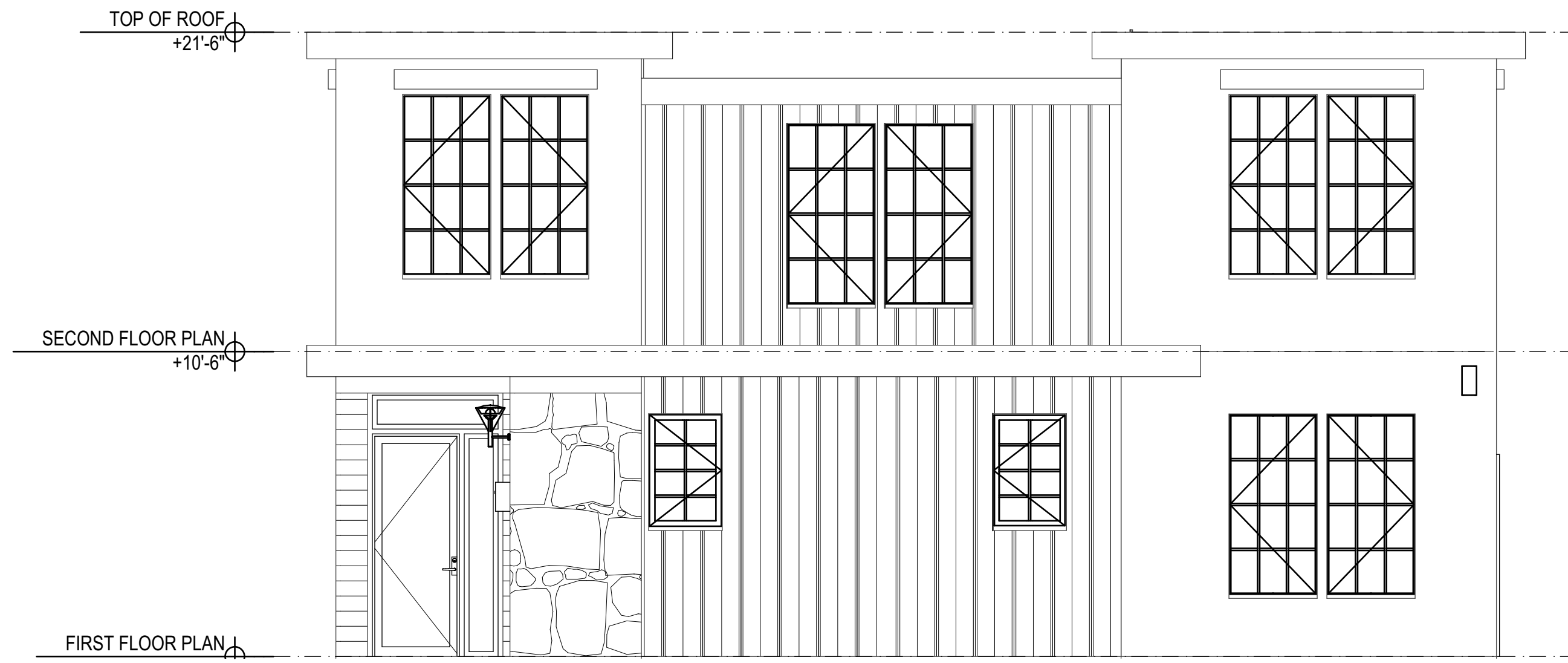
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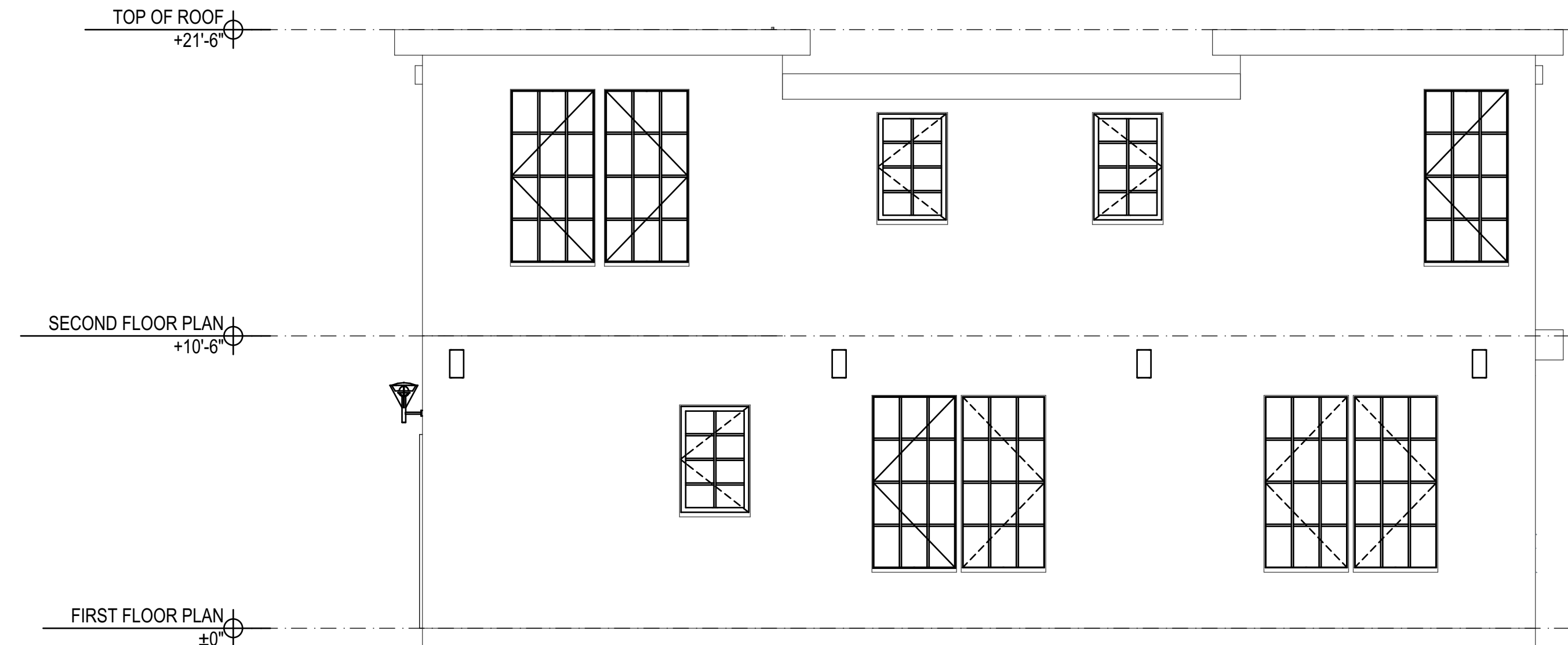
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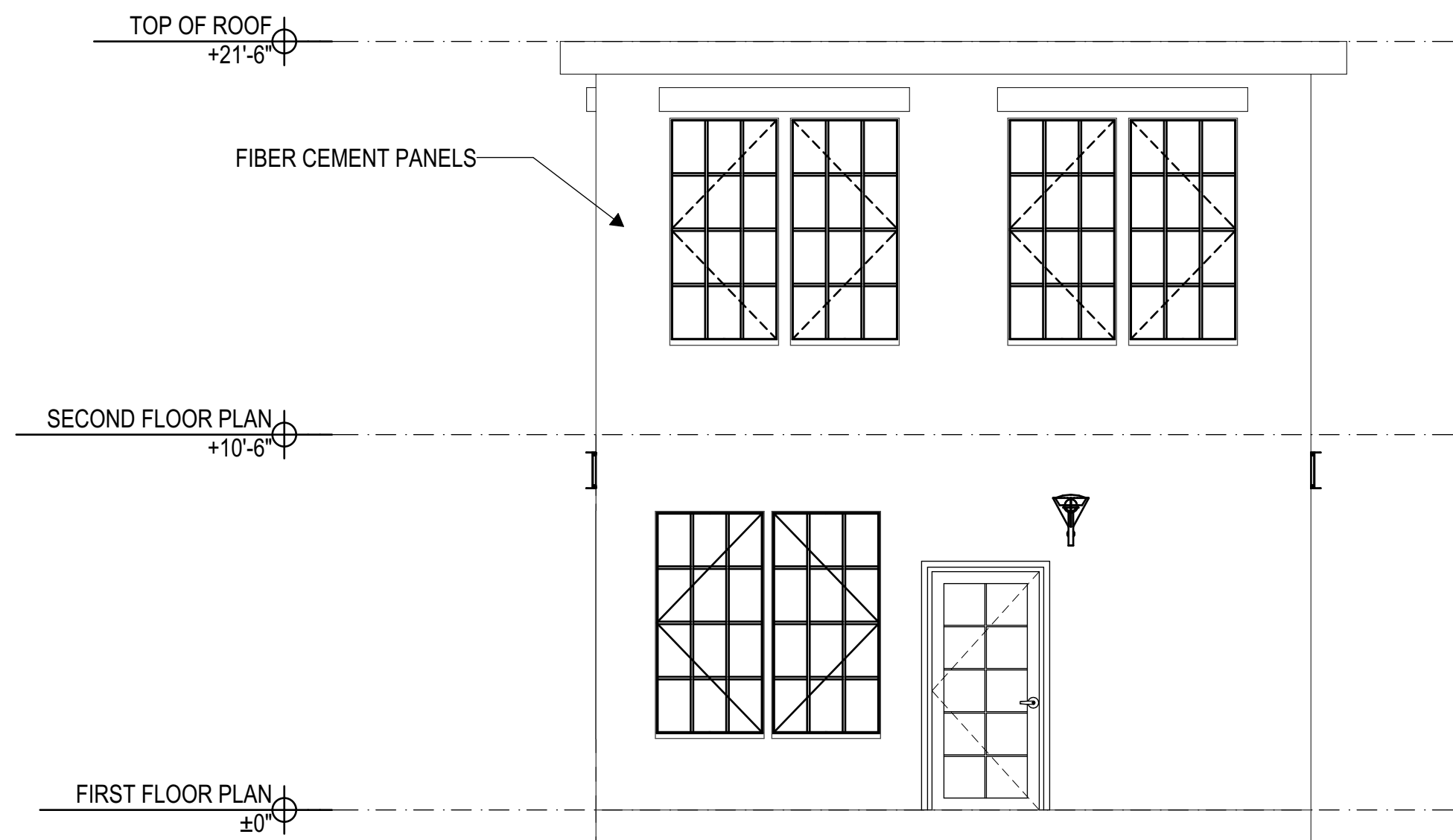
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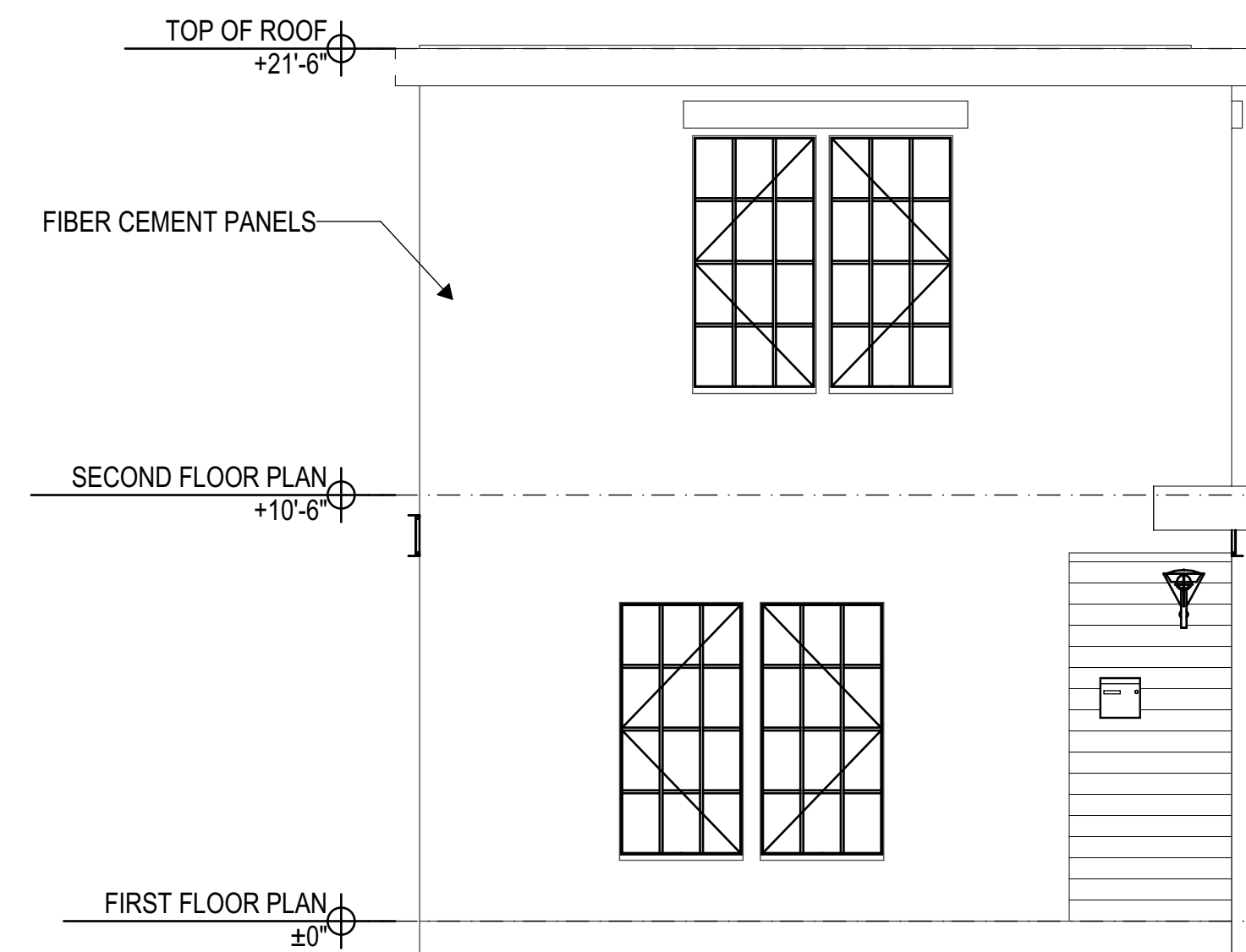
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 South Elevation
SCALE: 1/4" = 1'-0"



3 West Elevation
SCALE: 1/4" = 1'-0"



4 East Elevation
SCALE: 1/4" = 1'-0"

SEAL & SIGNATURE

Chad E. Sabir (STATE) PE/RA #0000000000000000 (STATE) Certifier of Authorization #0000000000000000

CONSULTANTS

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
XX	XXXXXXXX	XXXXXXXXXXXXXXXX
XX	XXXXXXXX	XXXXXXXXXXXXXXXX

PROJECT & ADDRESS

NEW HODGES AVE
39-45 HODGES AVE LAWNSIDE NJ
08045

PLOT PLAN

CLIENT

EQUIMAX DEVELOPMENT
COMPANY, LLC
170 WARWICK RD, N
LAWNSIDE, NJ 08045

DRAWING TITLE

BUILDING SECTIONS

MUNICIPAL STAMP

DESIGNED BY

<NK >

DRAWN BY

<NK >

CHECKED BY

<CS >

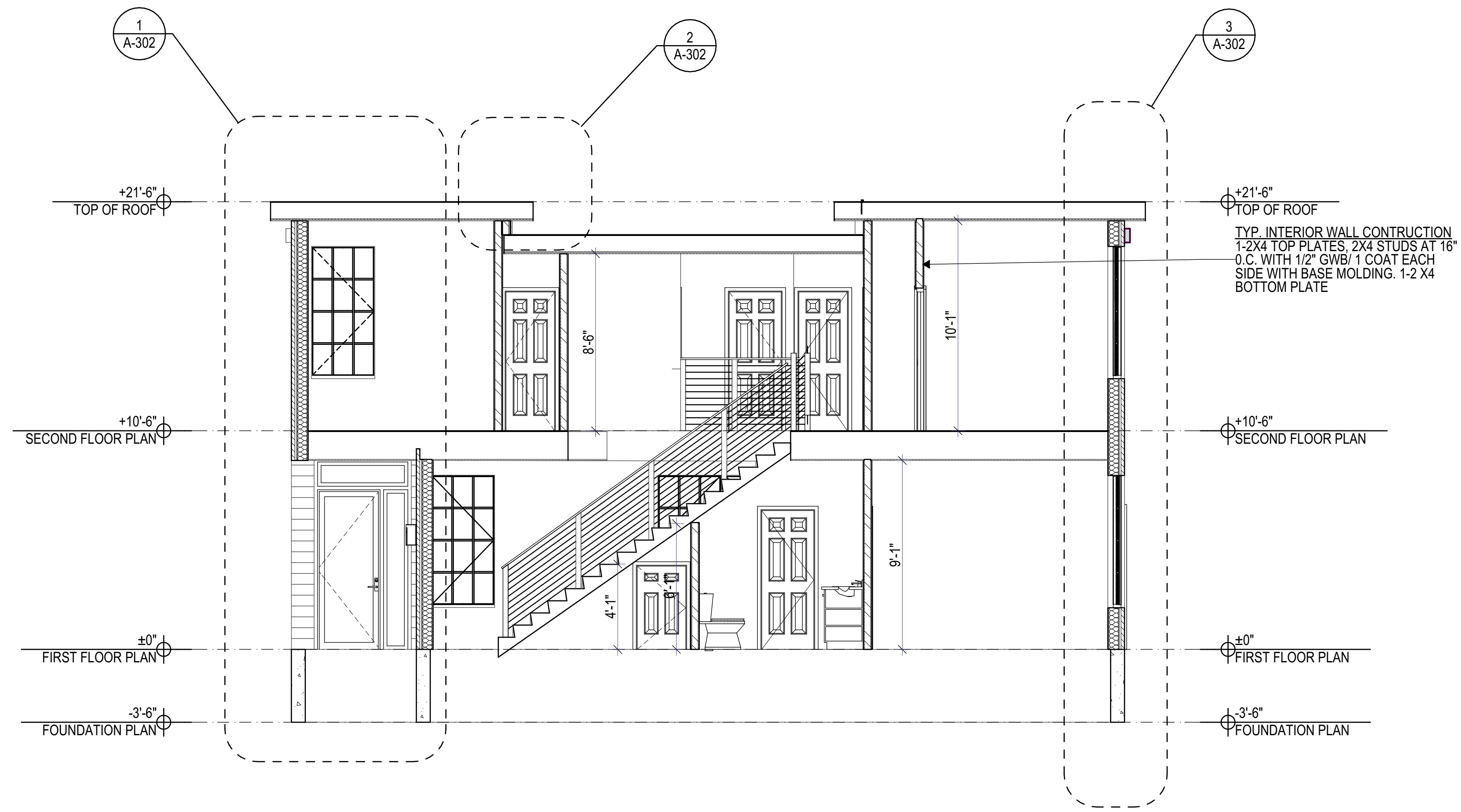
PROJECT NO.

2023-225

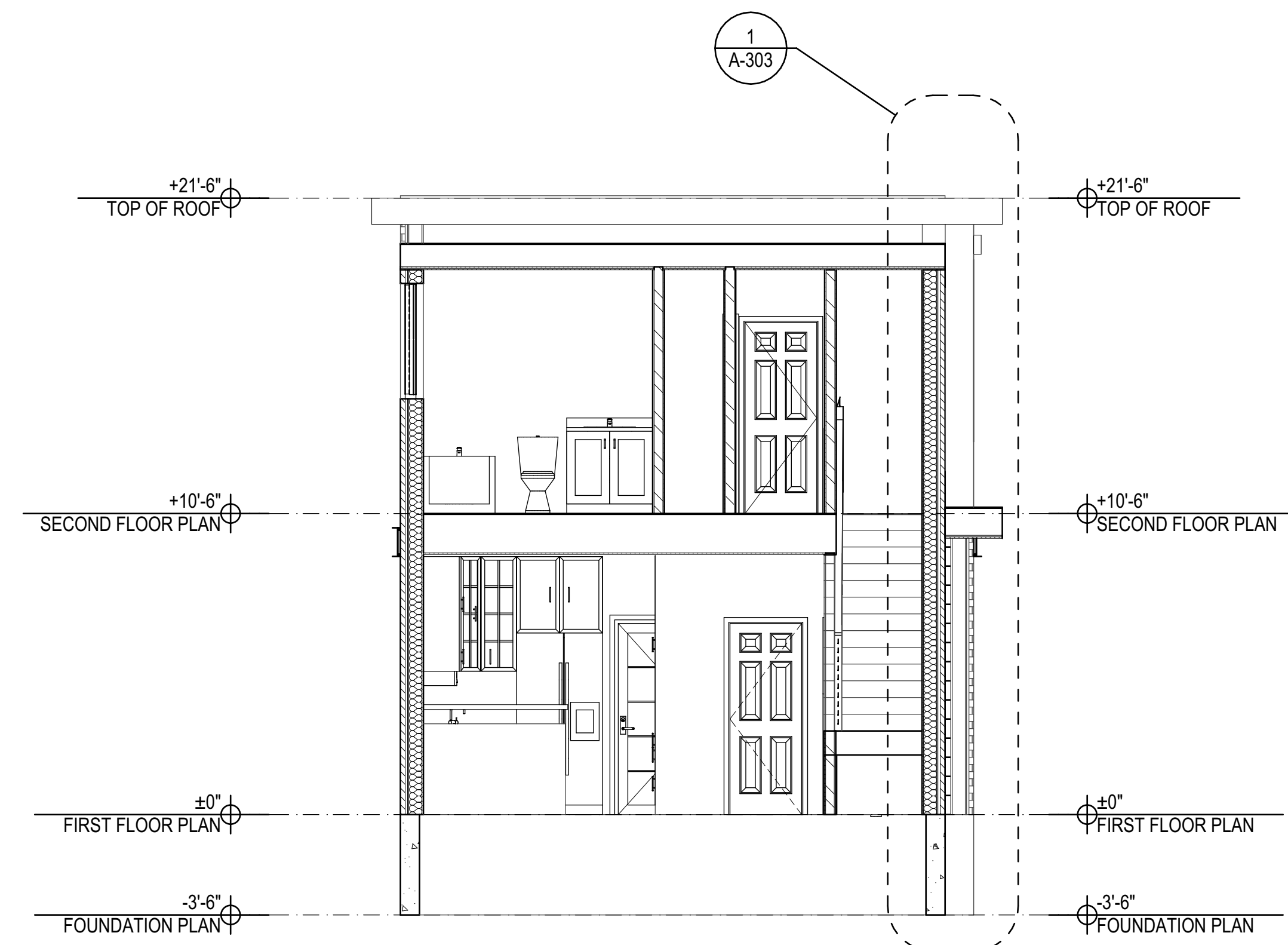
SCALE	DATE
<AS NOTED>	2/18/2025

A-301

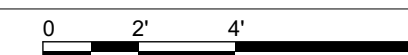
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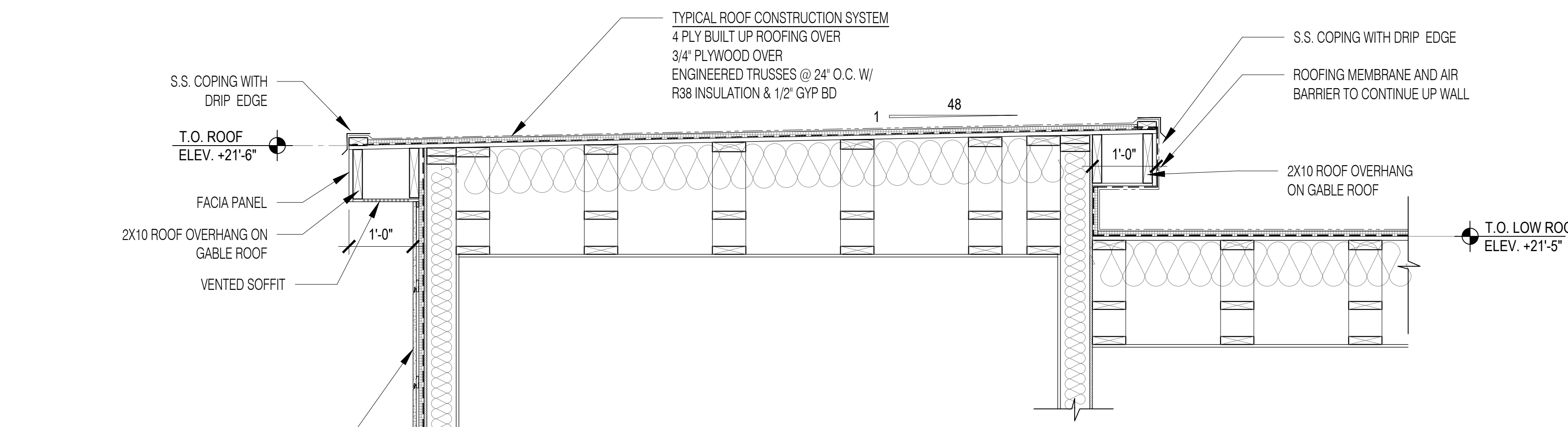


1 Building Section A
SCALE: 1/4" = 1'-0"

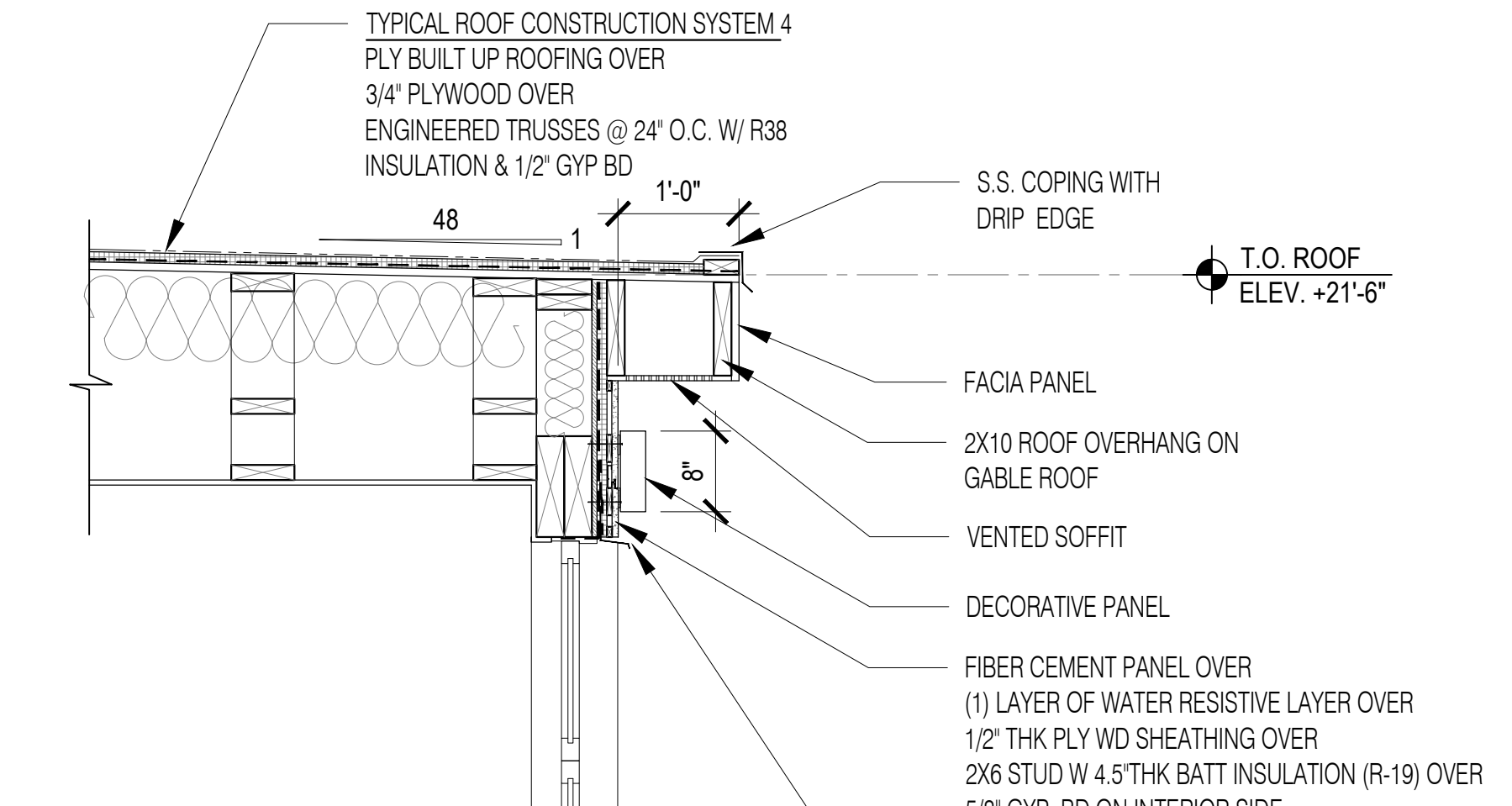


2 Building Section B
SCALE: 1/4" = 1'-0"

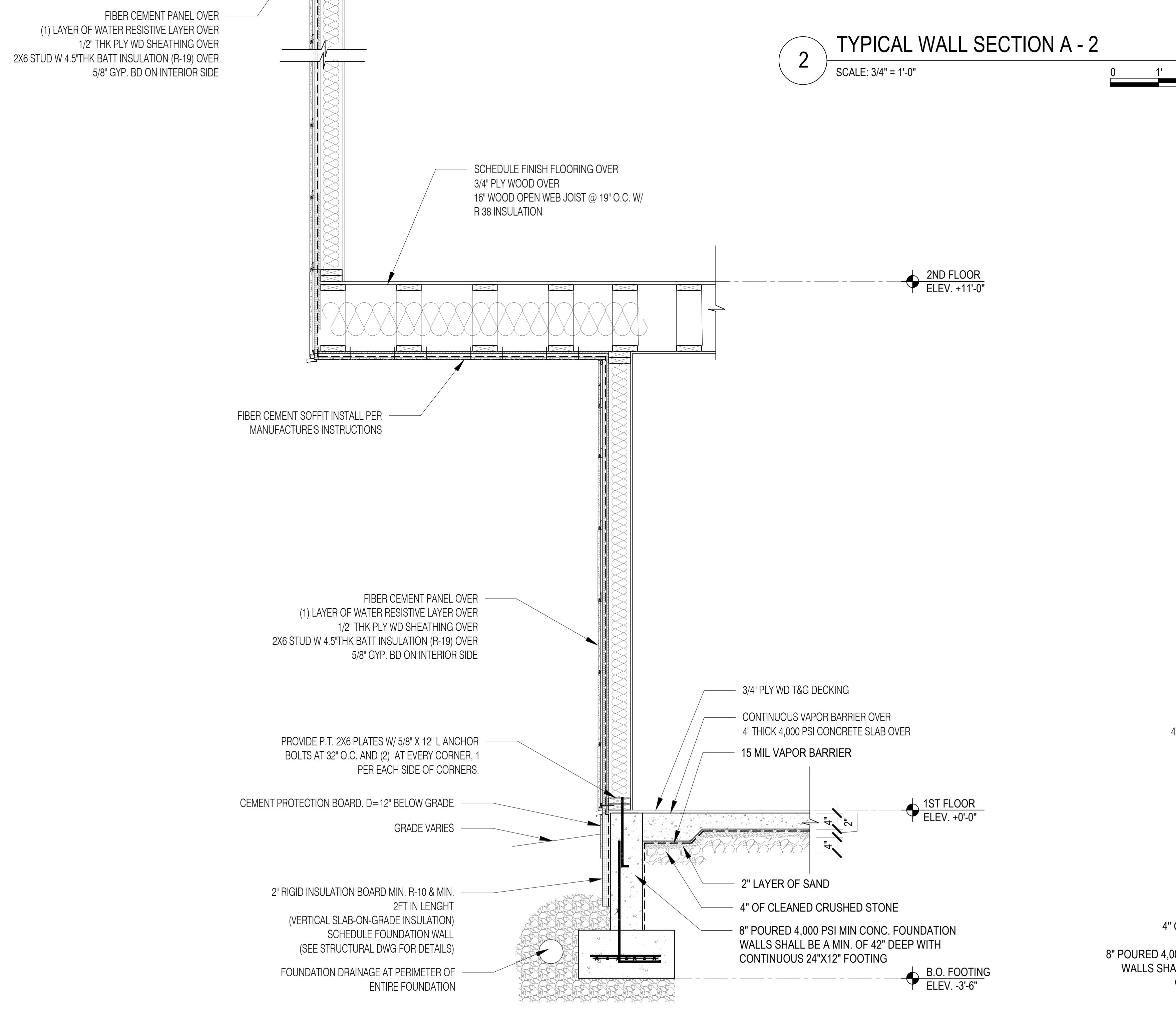




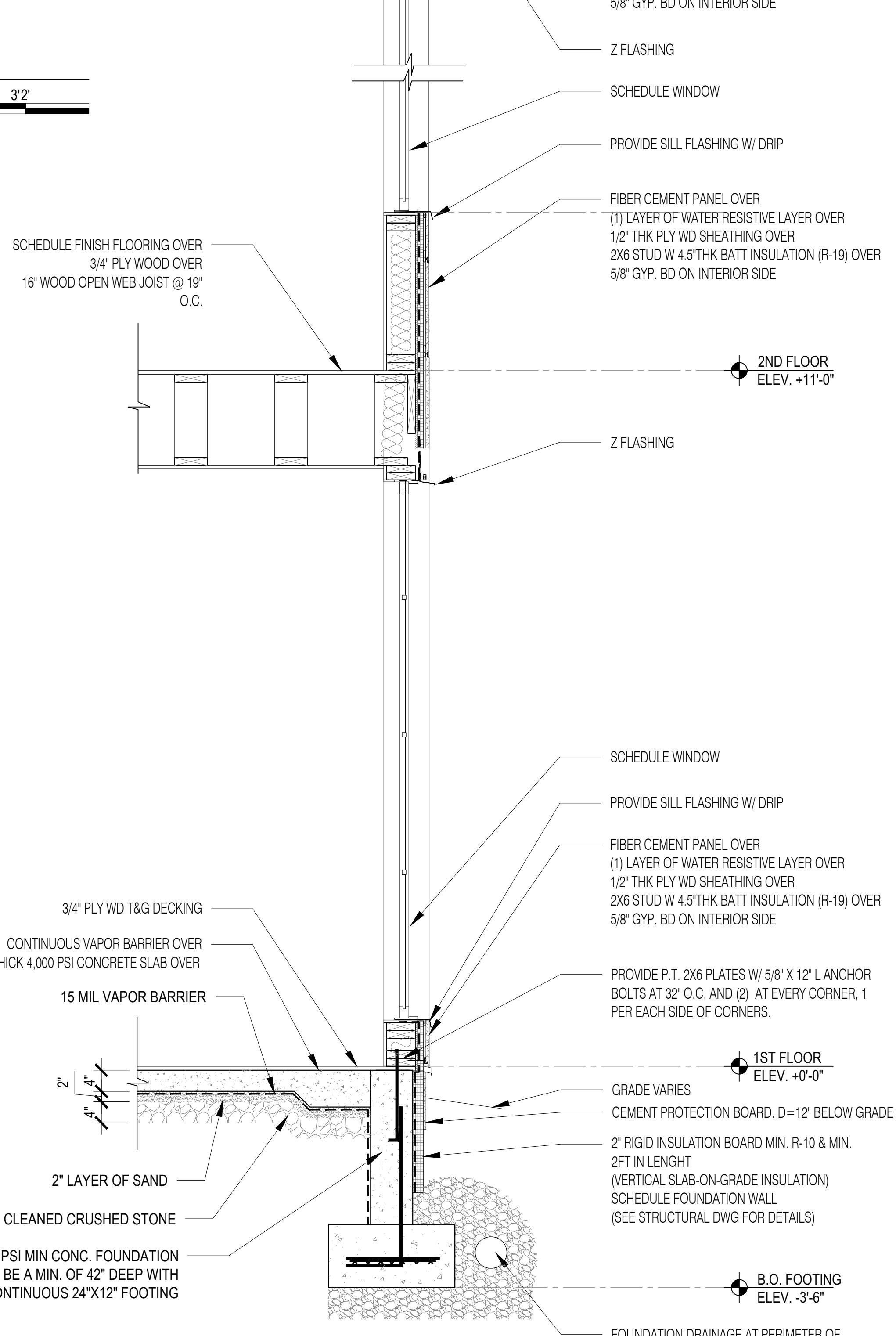
2 TYPICAL WALL SECTION A - 2
 SCALE: 3/4" = 1'-0"
 0 1' 3' 2'



3 TYPICAL WALL SECTION A - 3
 SCALE: 3/4" = 1'-0"
 0 1' 2' 3'



1 TYPICAL WALL SECTION A - 1
 SCALE: 3/4" = 1'-0"
 0 1' 2' 3'



3 TYPICAL WALL SECTION A - 3
 SCALE: 3/4" = 1'-0"
 0 1' 2' 3'

SEAL & SIGNATURE

CONSULTANTS

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
XX	XXXXXX	XXXXXXXXXXXX
XX	XXXXXX	XXXXXXXXXXXX

PROJECT & ADDRESS

NEW HODGES AVE
39-45 HODGES AVE LAWNSIDE NJ
08045

PLOT PLAN

CLIENT

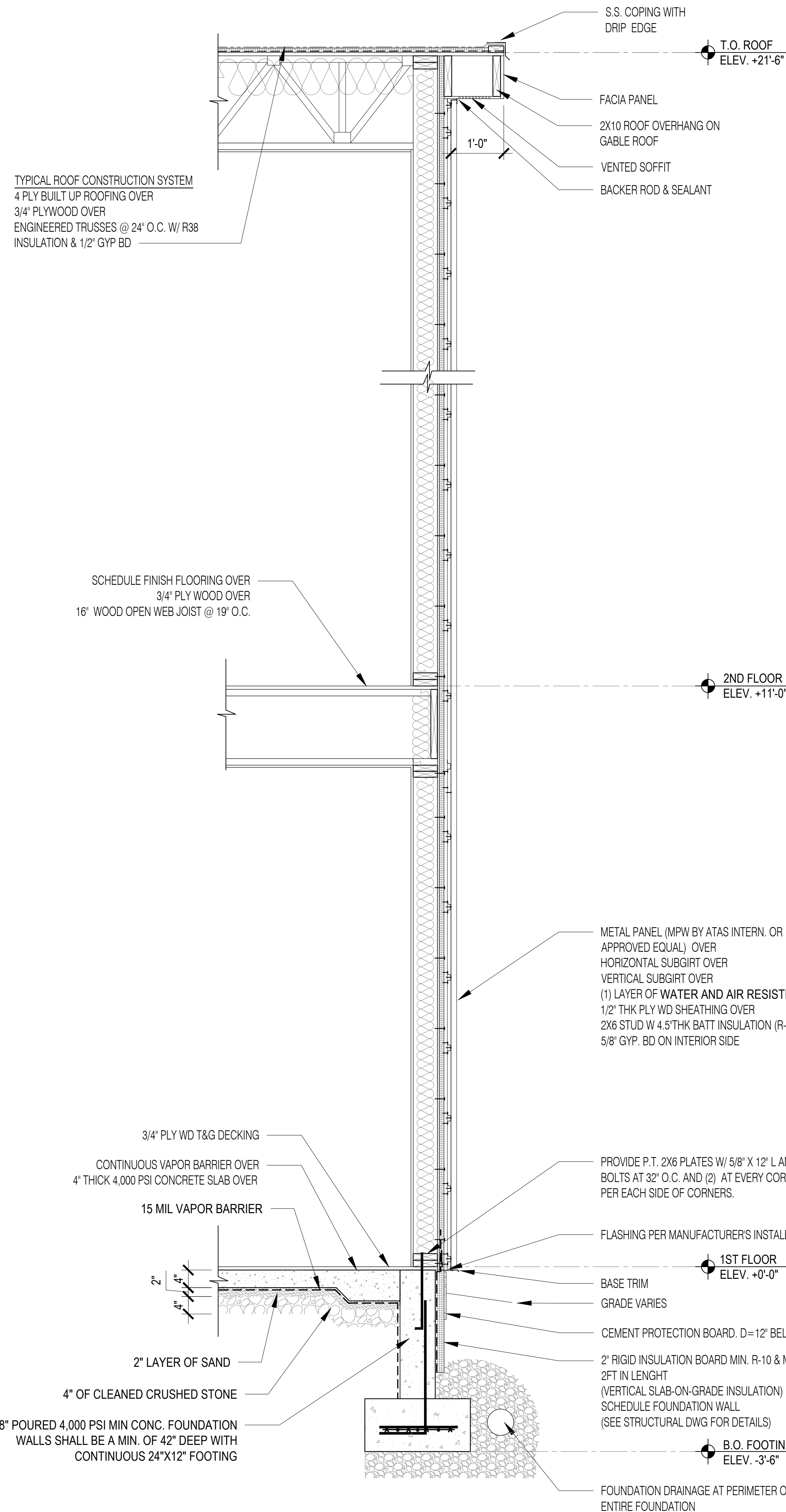
EQUIMAX DEVELOPMENT
COMPANY, LLC
170 WARWICK RD, N
LAWNSIDE, NJ 08045

DRAWING TITLE

WALL SECTIONS

MUNICIPAL STAMP

DESIGNED BY <NK>
 DRAWN BY <NK>
 CHECKED BY <CS>
 PROJECT NO. 2023-225
 SCALE <AS NOTED> DATE 11/13/2024
A-302
 <#Lay\NoinSubset> OF <38>



3 TYPICAL WALL SECTION B - 1
 SCALE: 3/4" = 1'-0"
 0 1' 2' 3'

ARCHITECT:
srw SABIR, RICHARDSON & WEISBERG
 ENGINEERING & ARCHITECTURE

NEW YORK 37 W 39TH ST, 2ND FL NEW YORK, NY 10018 PHONE: (845) 953-4150
 NEW JERSEY 531 WILLIAMSTOWN RD SICKLERVILLE, NJ 08661 PHONE: (908) 310-5000 FAX: (908) 310-5561
 PENNSYLVANIA 417 N 8TH ST, STE 204 PHILADELPHIA, PA 19123 PHONE: (610) 550-2811

INFO@SRW-ENG.COM WWW.SRW-ENG.COM

SEAL & SIGNATURE

 (Signature Line)

CONSULTANTS

 (Consultant Line)

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
XX	XXXXXX	XXXXXXXXXXXX
XX	XXXXXX	XXXXXXXXXXXX

PROJECT & ADDRESS
NEW HODGES AVE
39-45 HODGES AVE LAWNSIDE NJ
08045

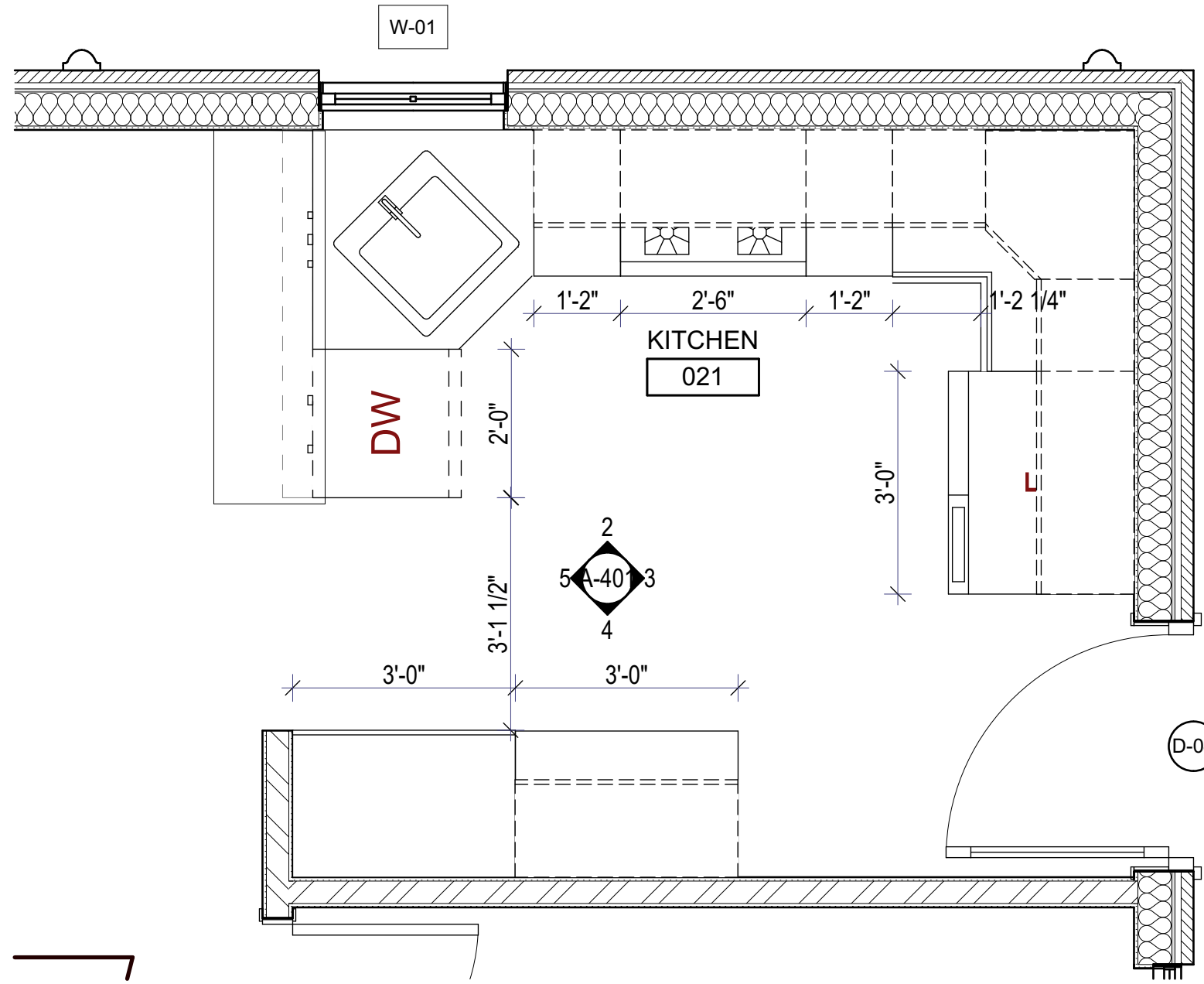
PLOT PLAN

 (Plot Plan Line)

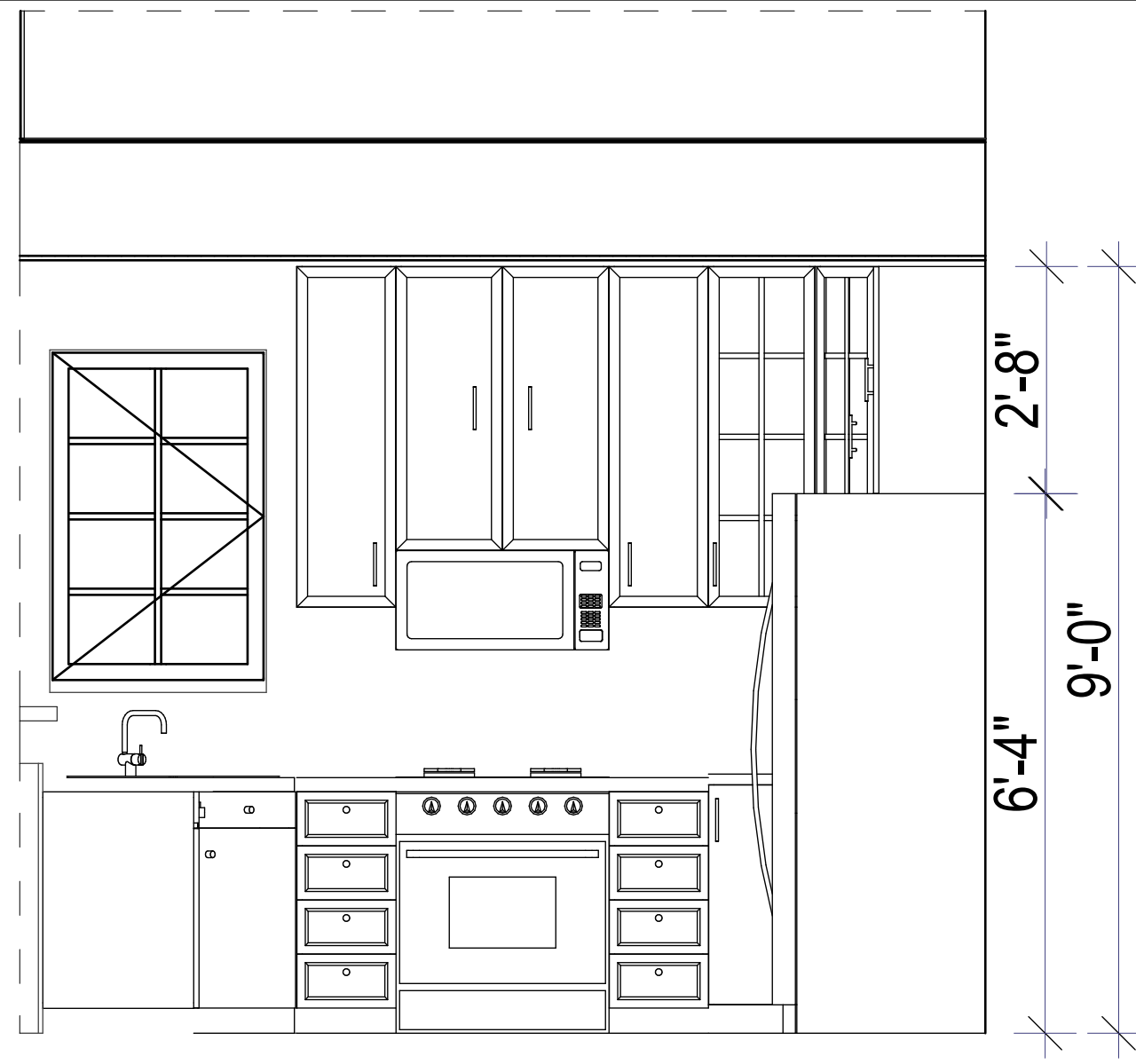
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EQUIMAX DEVELOPMENT
COMPANY, LLC
170 WARWICK RD, N
LAWNSIDE, NJ 08045

DRAWING TITLE
WALL SECTIONS

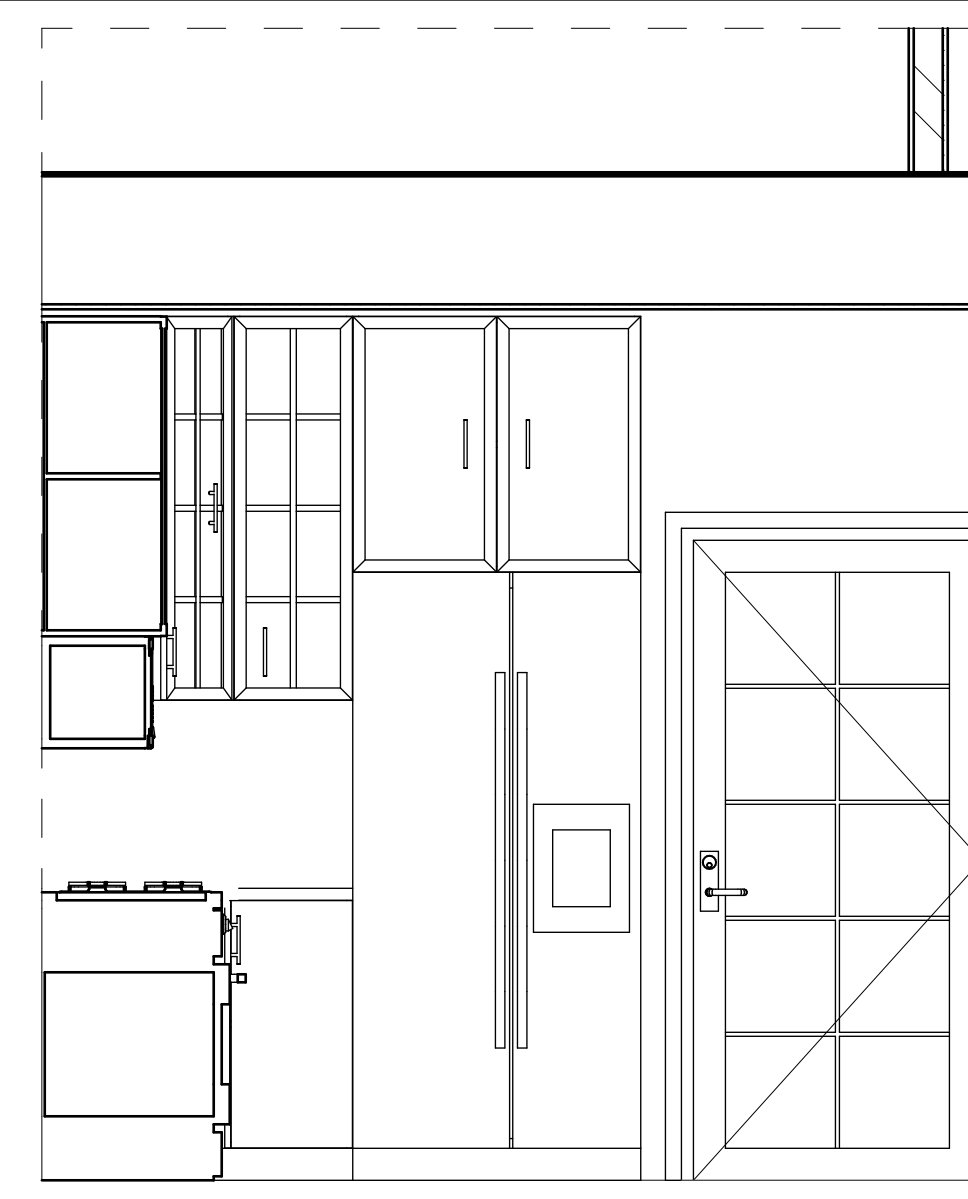
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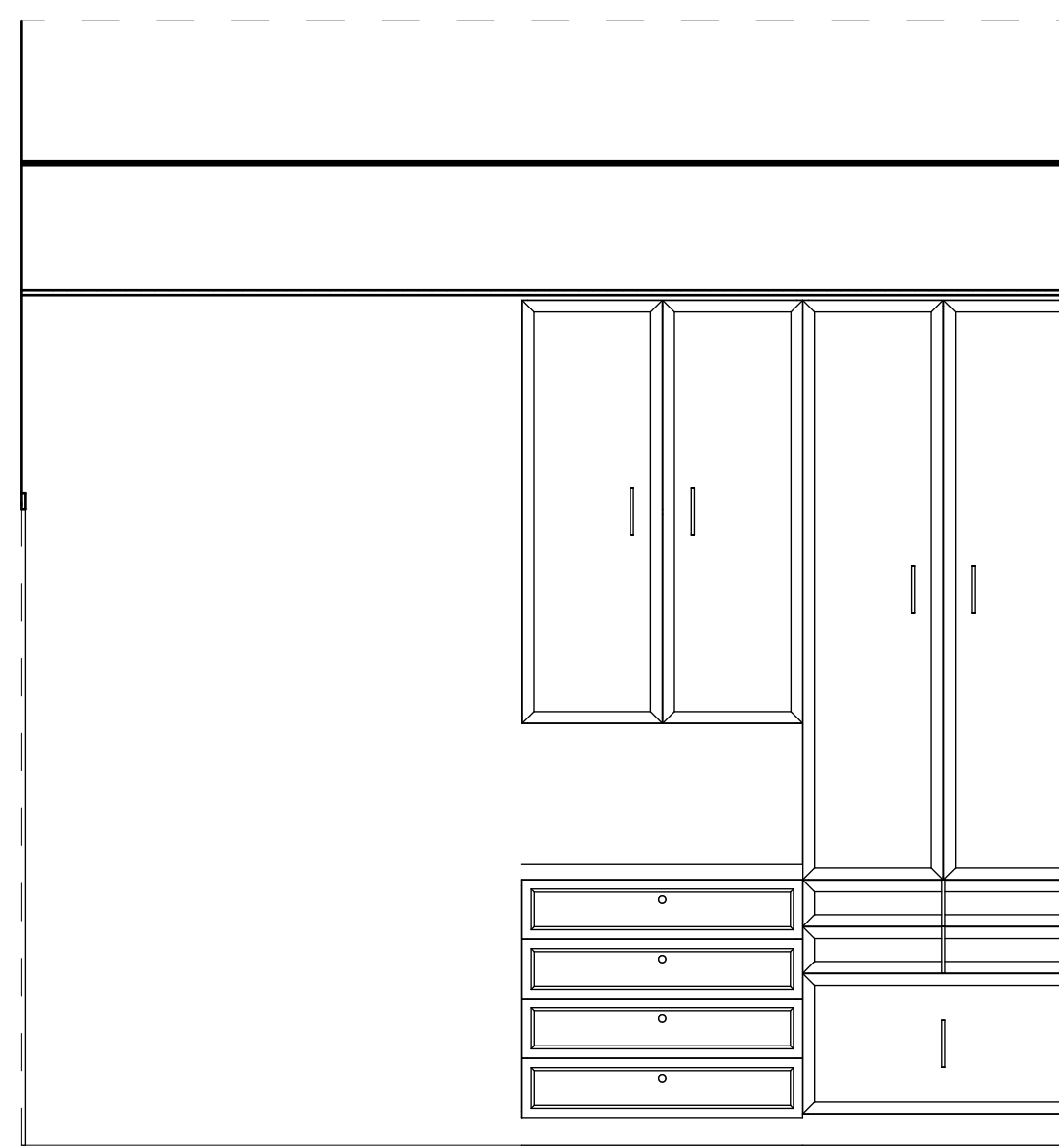
1 Kitchen Enlarged Plan
SCALE: 1/2" = 1'-0"



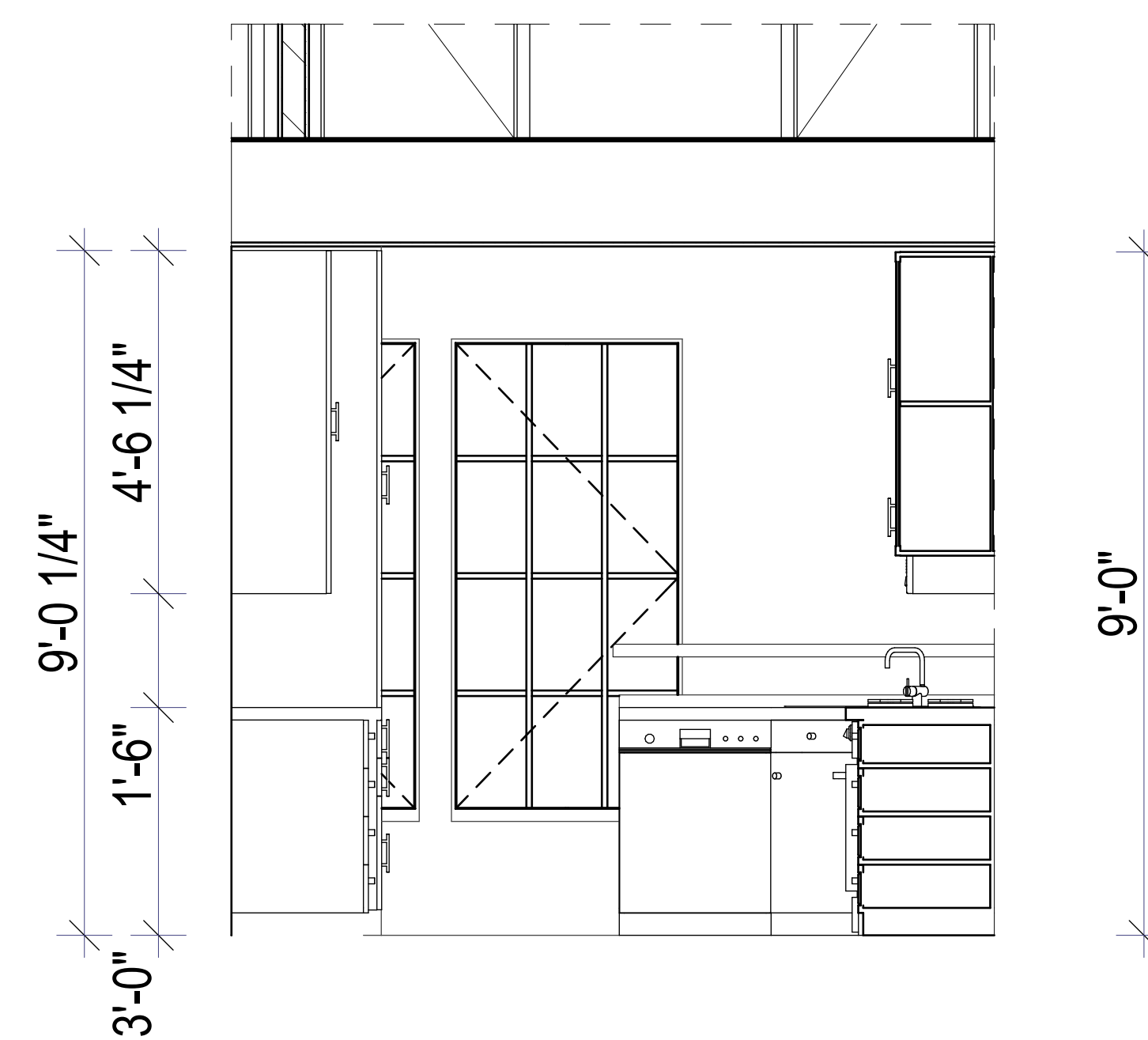
2 Kitchen Interior Elevation 1
SCALE: 1/2" = 1'-0"



3 Kitchen Interior Elevation 2
SCALE: 1/2" = 1'-0"



4 Kitchen Interior Elevation 3
SCALE: 1/2" = 1'-0"



5 Kitchen Interior Elevation 4
SCALE: 1/2" = 1'-0"

SEAL & SIGNATURE

CONSULTANTS

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NO.	DATE	DESCRIPTION
XX	XXXXXXXX	XXXXXXXXXXXXXXX
XX	XXXXXXXX	XXXXXXXXXXXXXXX

PROJECT & ADDRESS
NEW HODGES AVE
39-45 HODGES AVE LAWNESIDE NJ
08045

PLOT PLAN

CLIENT
EQUIMAX DEVELOPMENT
COMPANY, LLC
170 WARWICK RD, N
LAWNESIDE, NJ 08045

DRAWING TITLE
ENLARGED KITCHEN
PLANS

MUNICIPAL STAMP	DESIGNED BY <NK >
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	PROJECT NO. 2023-225
	SCALE: <AS NOTED>
	DATE: 2/18/2025
A-401	
<24> OF <40>	

SEAL & SIGNATURE

CEPHEE E. SABI (STATE) P/E (RA) #00000000000000000000
(STATE) Certifier of Authorization #00000000000000000000

CONSULTANTS

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
XX	XXXXXX	XXXXXXXXXXXXXXXXXX
XX	XXXXXX	XXXXXXXXXXXXXXXXXX

PROJECT & ADDRESS

NEW HODGES AVE
 39-45 HODGES AVE LAWNSIDE NJ
 08045

PLOT PLAN

CLIENT

EQUIMAX DEVELOPMENT
 COMPANY, LLC
 170 WARWICK RD, N
 LAWNSIDE, NJ 08045

DRAWING TITLE

ENLARGED
 BATHROOM PLANS

MUNICIPAL STAMP

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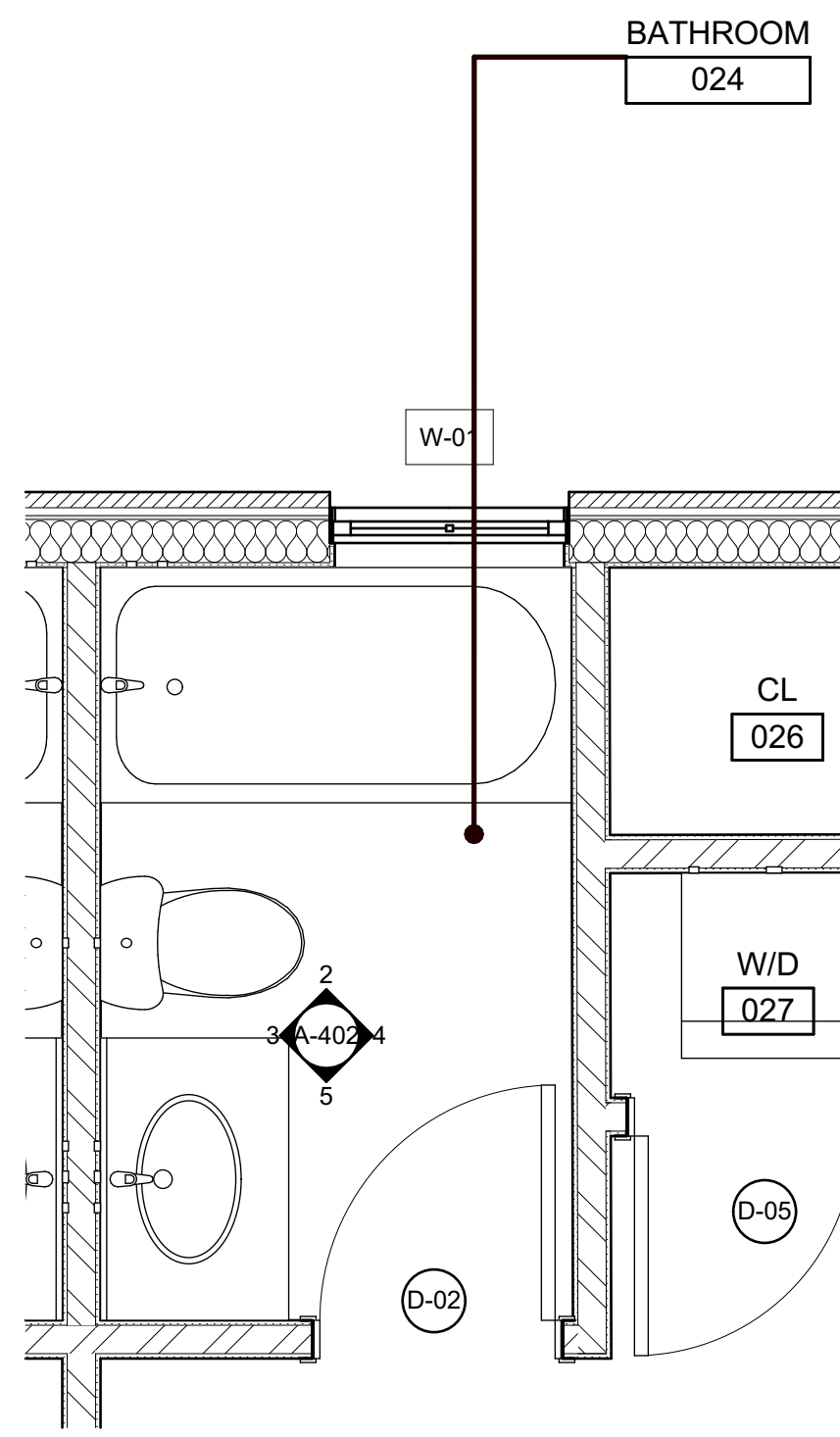
PROJECT NO.

2023-225

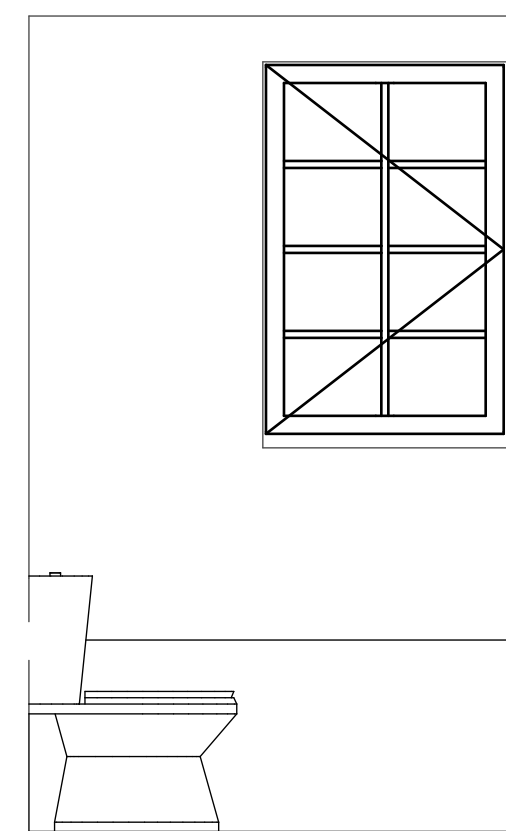
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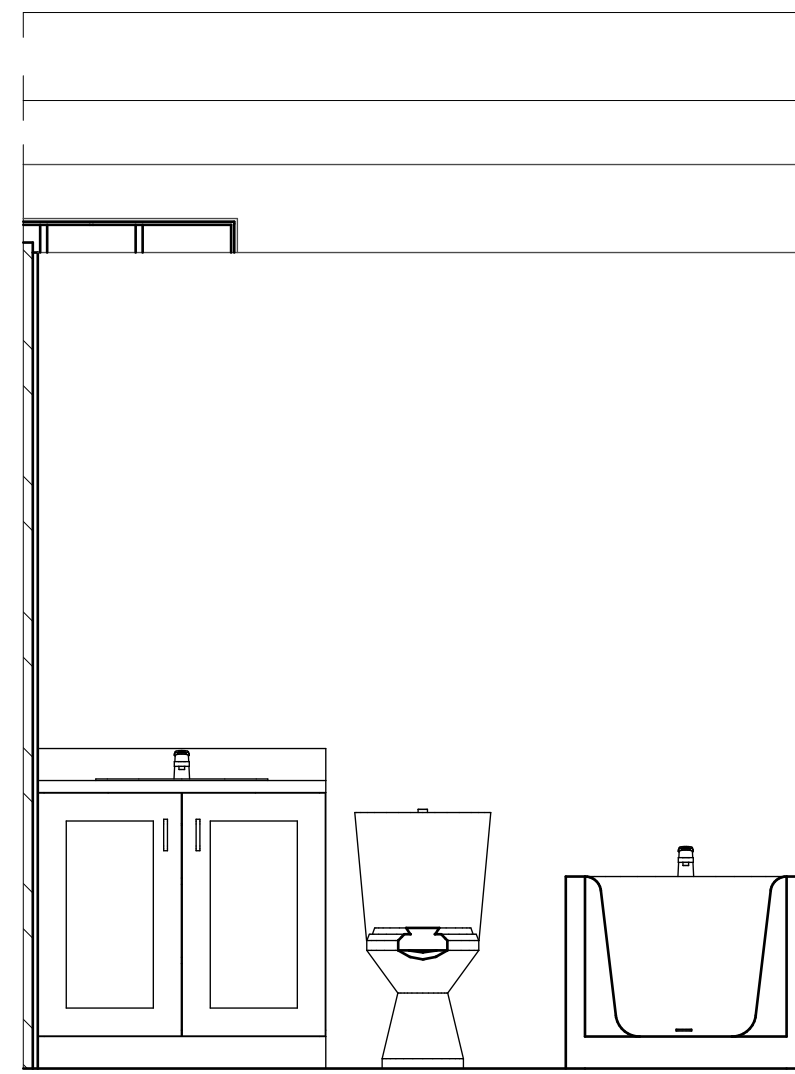
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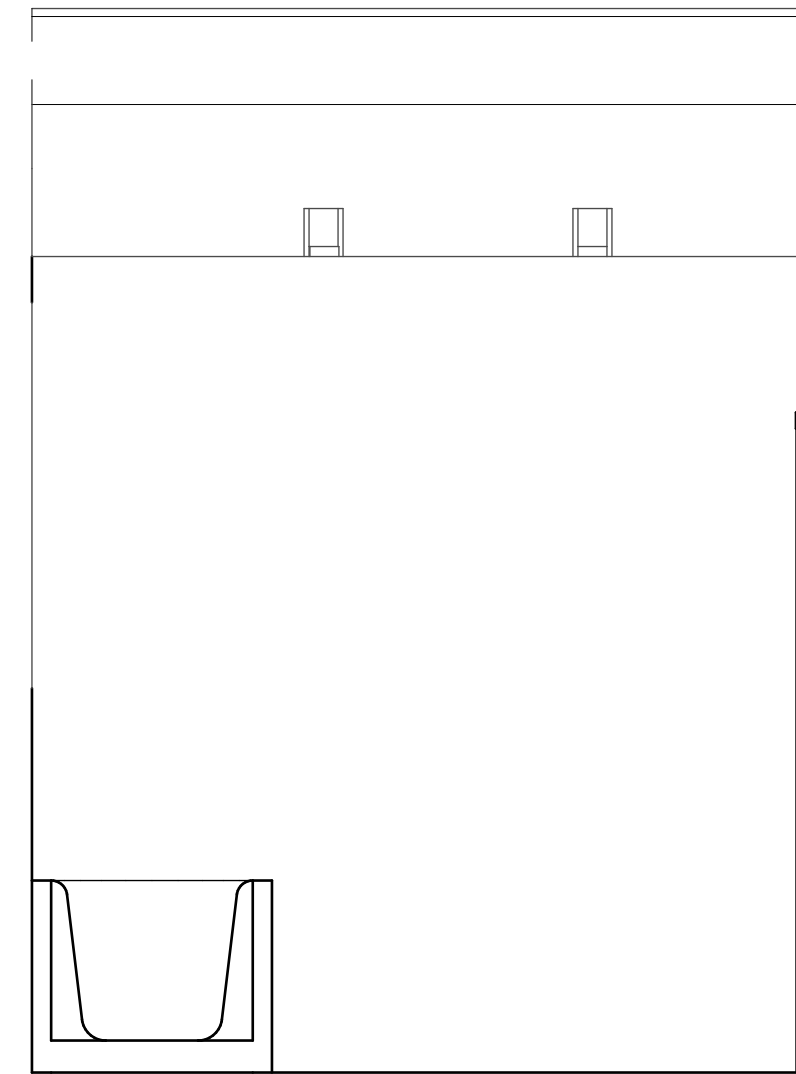
1 Bathroom Enlarged Plan
SCALE: 1/2" = 1'-0"



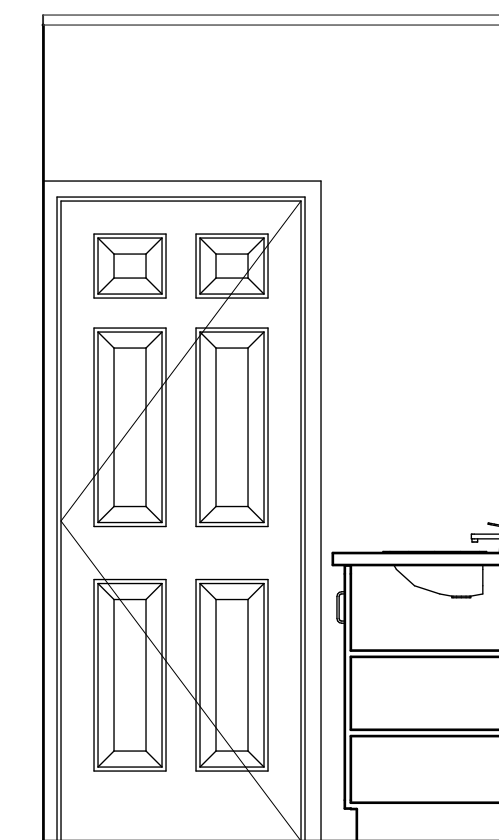
2 Bathroom Interior Elevation 1
SCALE: 1/2" = 1'-0"



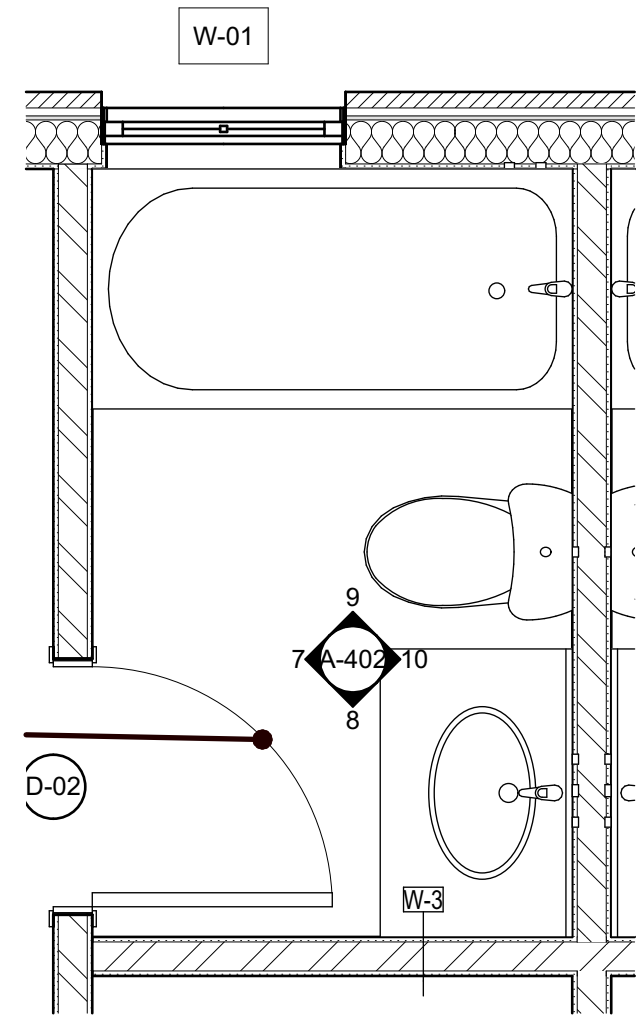
3 Bathroom Interior Elevation 2
SCALE: 1/2" = 1'-0"



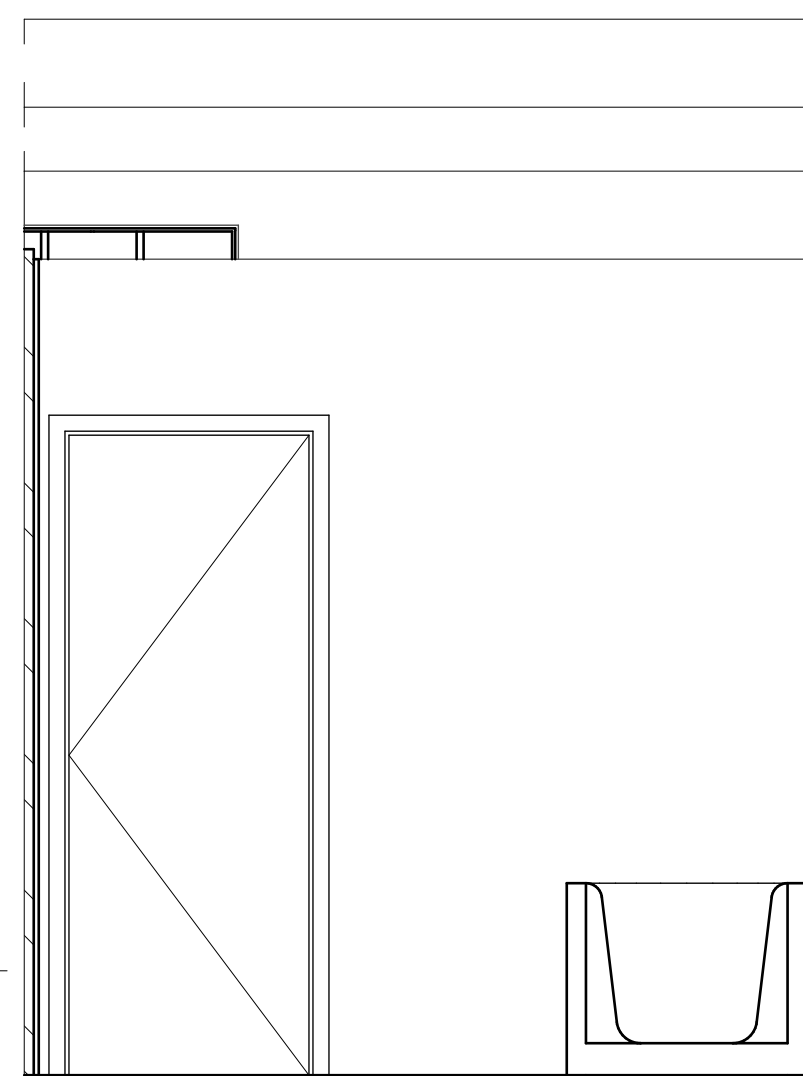
4 Bathroom Interior Elevation 3
SCALE: 1/2" = 1'-0"



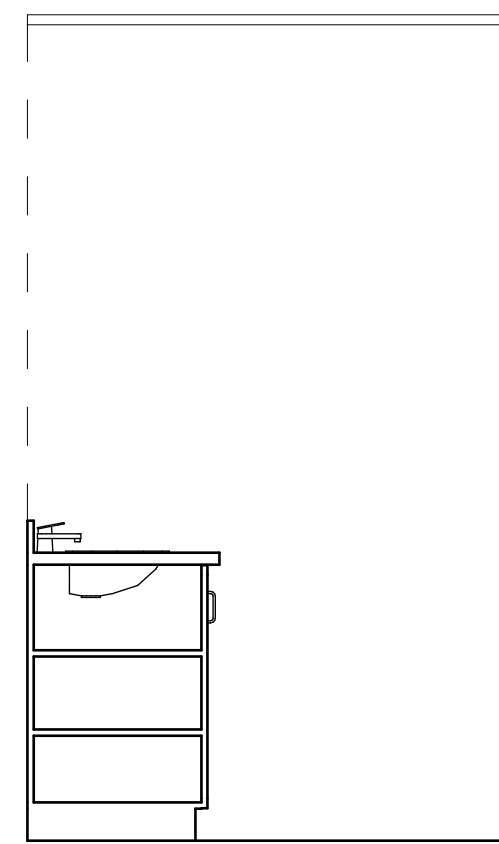
5 Bathroom Interior Elevation 4
SCALE: 1/2" = 1'-0"



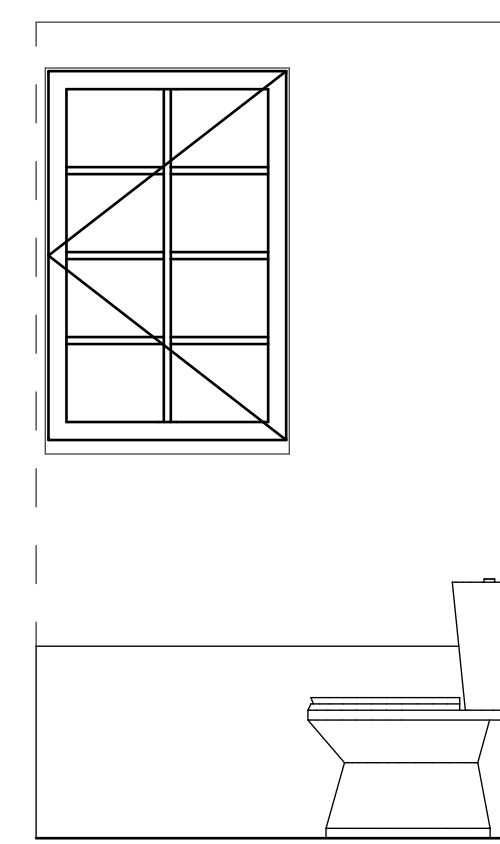
6 Master Bathroom Enlarged Plan
SCALE: 1/2" = 1'-0"



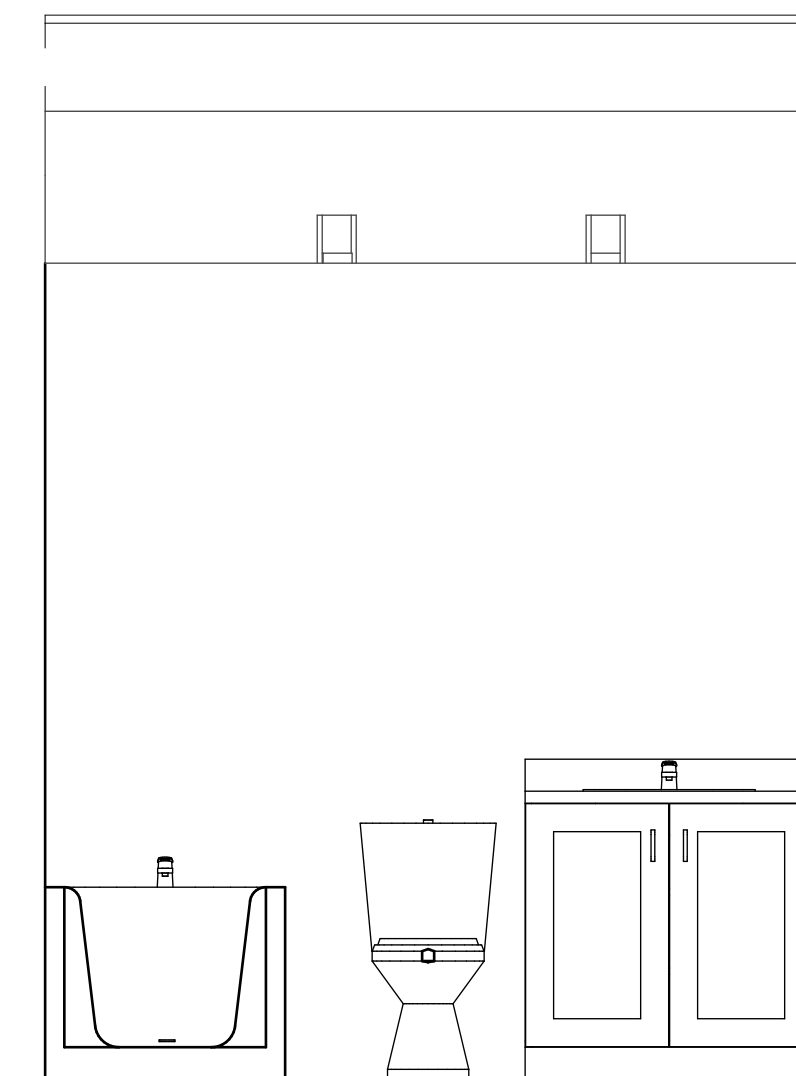
7 Master Bathroom Interior Elevation 1
SCALE: 1/2" = 1'-0"



8 Master Bathroom Interior Elevation 2
SCALE: 1/2" = 1'-0"



9 Master Bathroom Interior Elevation 3
SCALE: 1/2" = 1'-0"



10 Master Bathroom Interior Elevation 4
SCALE: 1/2" = 1'-0"

SEAL & SIGNATURE

Caopi E.A. Sabir (STATE) #PE044000000000000000
(STATE) Certificate of Authorization #000000000000000000

CONSULTANTS

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
XX	XXXXXXXX	XXXXXXXXXXXXXXXX
XX	XXXXXXXX	XXXXXXXXXXXXXXXX

PROJECT & ADDRESS

NEW HODGES AVE
39-45 HODGES AVE LAWN SIDE NJ
08045

PLOT PLAN

CLIENT

EQUIMAX DEVELOPMENT
COMPANY, LLC
170 WARWICK RD, N
LAWN SIDE, NJ 08045

DRAWING TITLE

FRAMING DETAILS

MUNICIPAL STAMP

DESIGNED BY

<NK>

DRAWN BY

<NK>

CHECKED BY

<CS>

PROJECT NO.

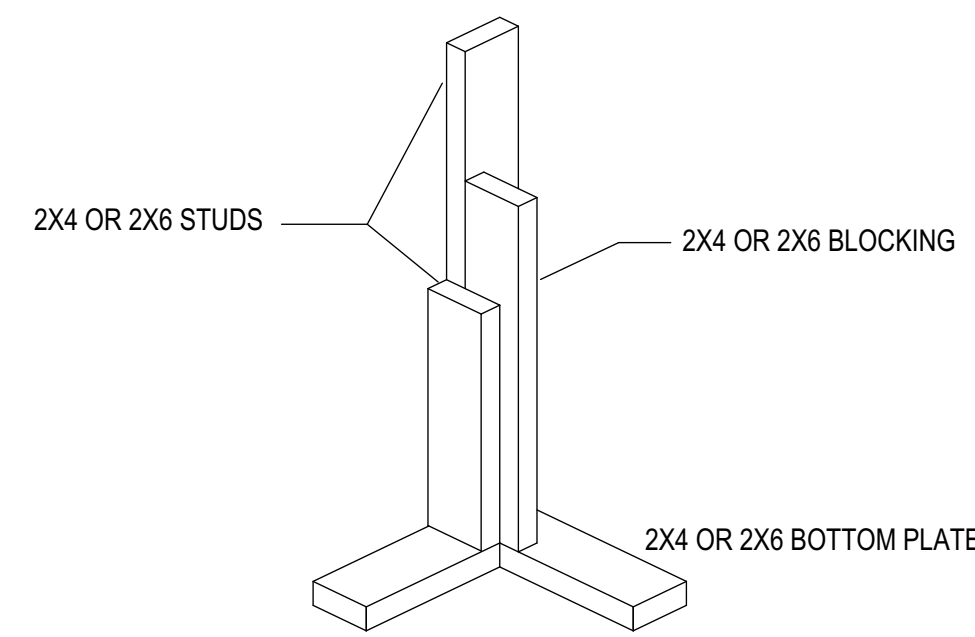
2023-225

SCALE DATE

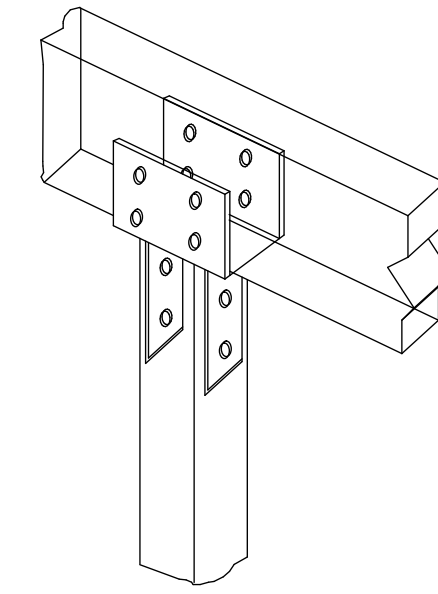
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A-500

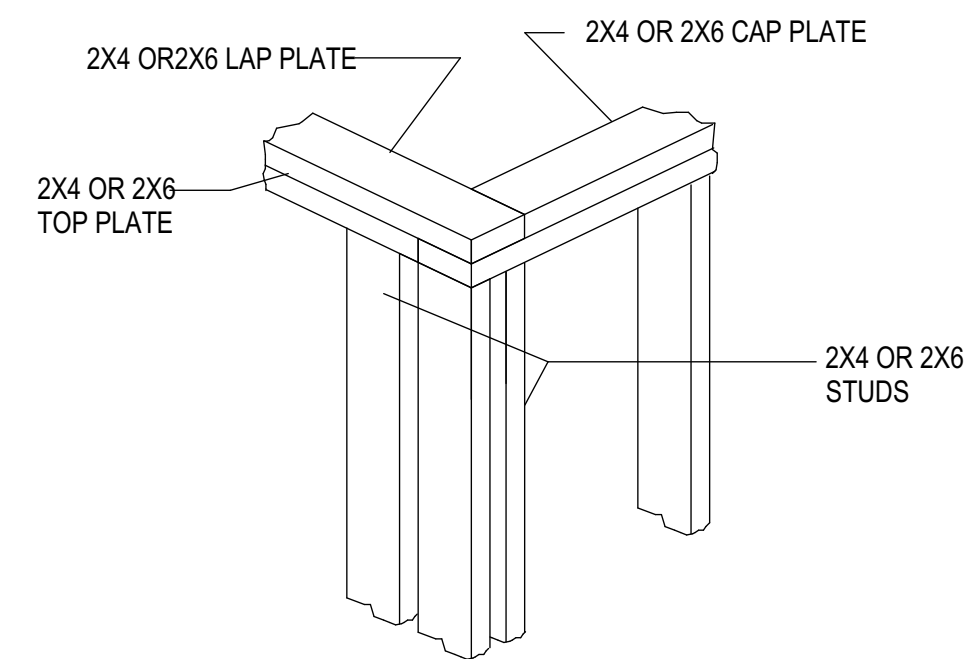
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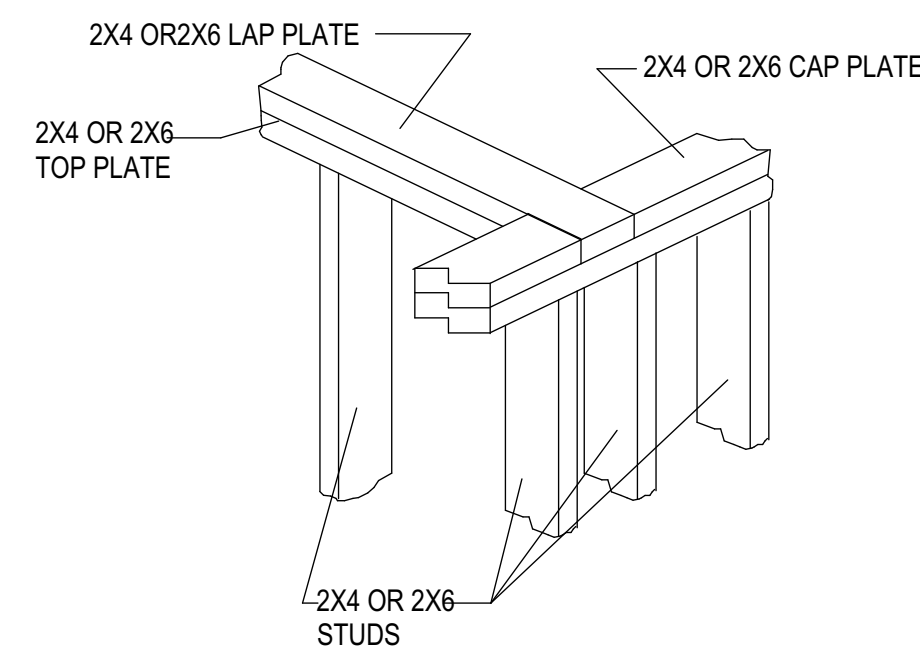
CORNER BLOCKING DETAIL
NTS



BEAM ON COLUMN CAP
NTS

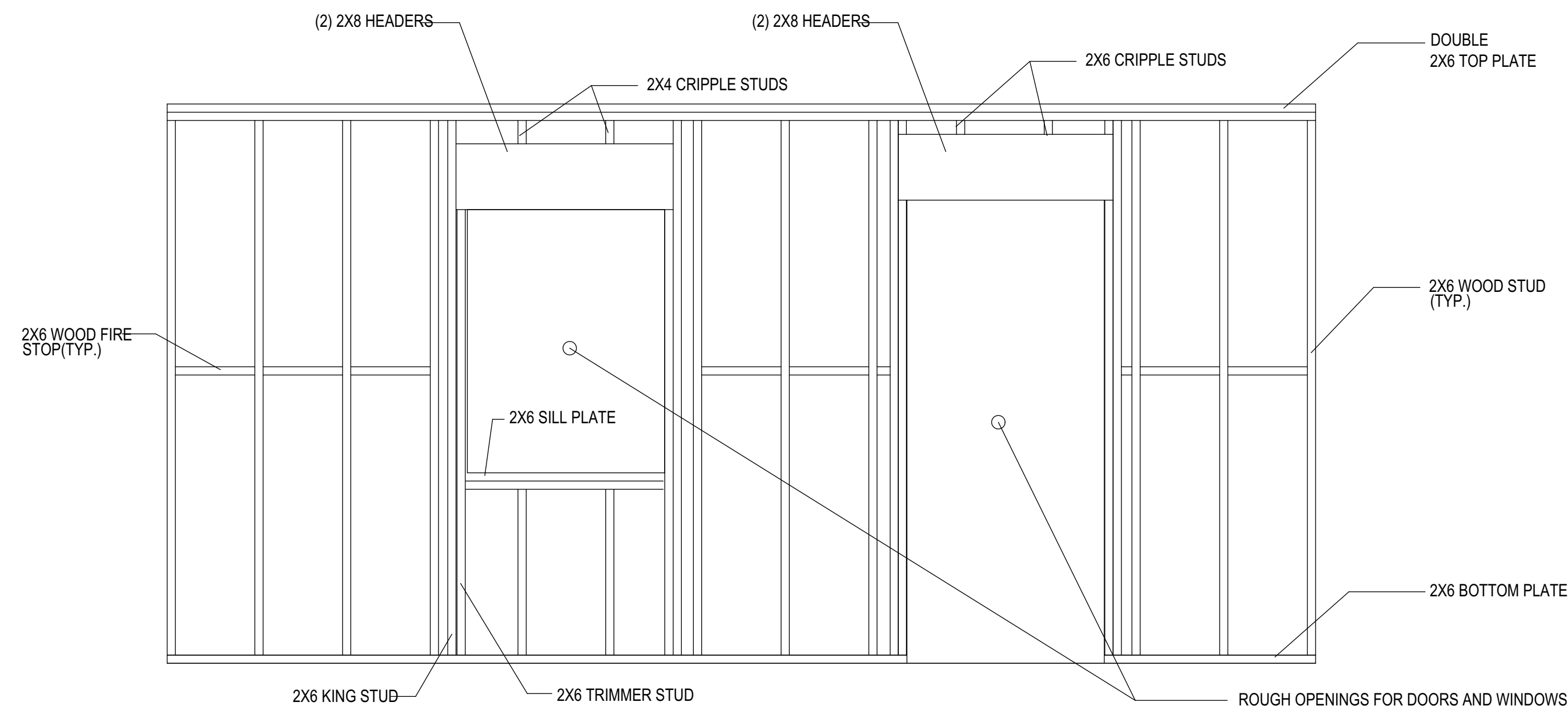
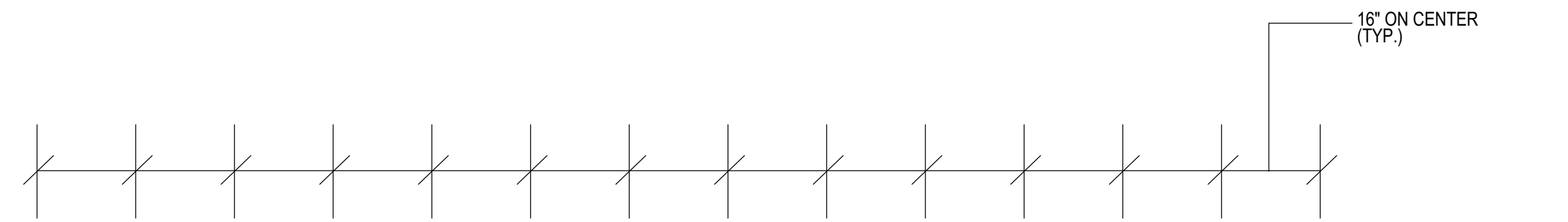


CORNER CONNECTION
NTS



T-JUNCTION CONNECTION
NTS

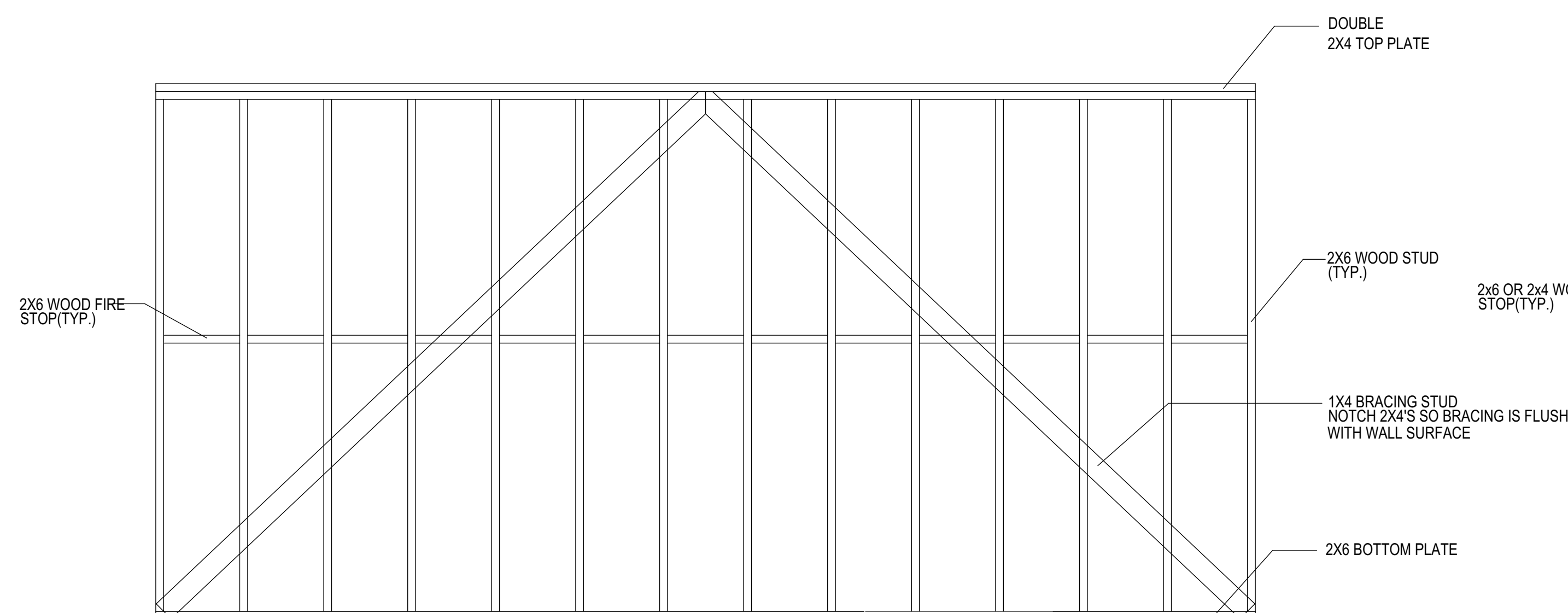
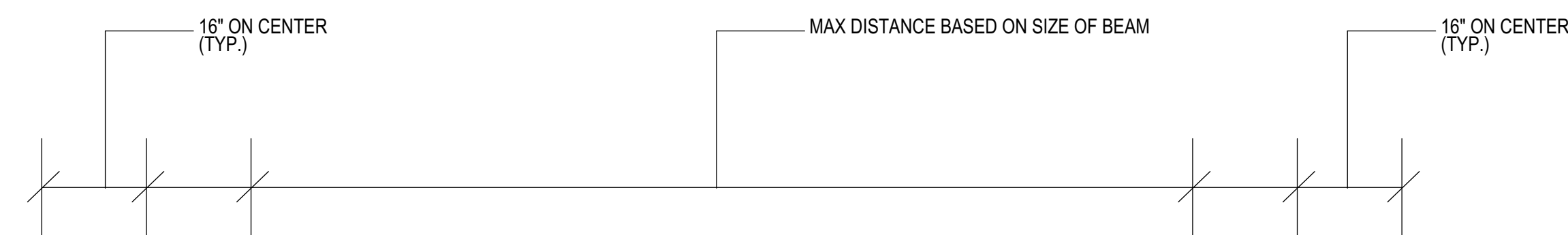
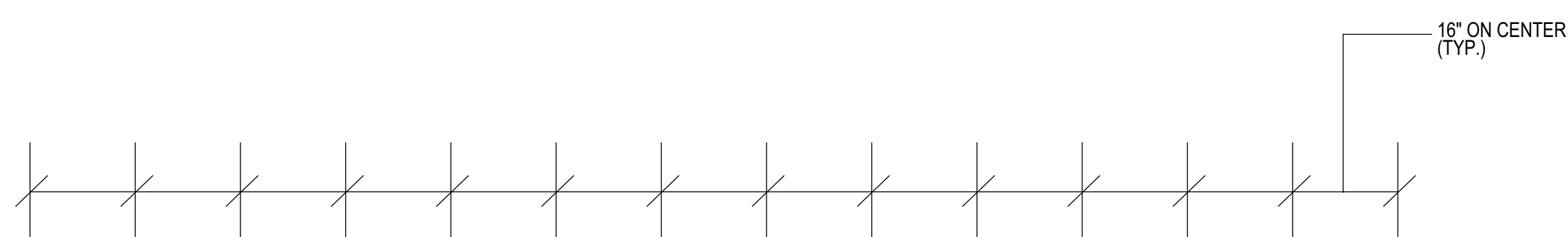
LAP AND CAP PLATE OVER TOP PLATE DETAIL
FOR LOAD BEARING WALLS



LOAD BEARING EXTERIOR 2X6 WALL FRAMING

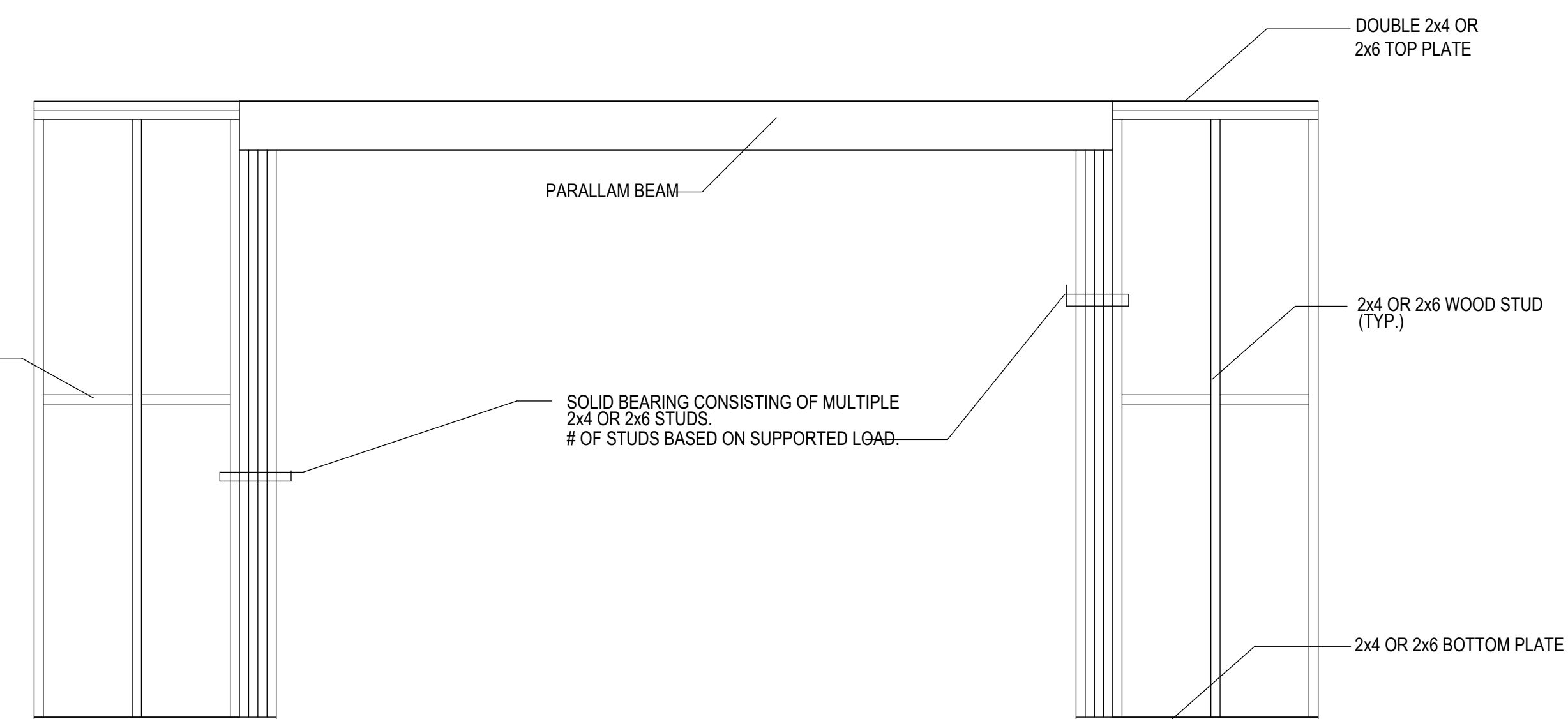
WITH DOOR AND WINDOW
NTS

ROUGH OPENINGS FOR DOORS AND WINDOWS
SHALL BE 1/2" TALLER AND 1" WIDER
THAN DOOR OR WINDOW.
SEE PLANS FOR EXACT SIZES.



LOAD BEARING EXTERIOR 2X6 WALL FRAMING

WITH NO OPENINGS
NTS



LOAD BEARING WALL FRAMING WITH LARGE OPENING
NTS

DOOR SCHEDULE

ID	ROOM	ROOM NAME	DOOR LEAF				DOOR FRAME						HARDWARE SET	ACCESSORIES	FIRE	REMARKS
			WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	MATERIAL	FRAME	HEAD	JAMB	THRESHOLD				
D-01	016	LIVING ROOM	3'-0"	7'-8"	1 3/4"	Undefined									Unrated	
D-02	016	LIVING ROOM	2'-6"	6'-8"	1 3/4"	Undefined									Unrated	
D-02	018	OFFICE	2'-6"	6'-8"	1 3/4"	Undefined									Unrated	
D-02	022	MASTER BEDROOM	2'-6"	6'-8"	1 3/4"	Undefined									Unrated	
D-02	022	MASTER BEDROOM	2'-6"	6'-8"	1 3/4"	Undefined									Unrated	
D-02	024	BATHROOM	2'-6"	6'-8"	1 3/4"	Undefined									Unrated	
D-02	025	BEDROOM 02	2'-6"	6'-8"	1 3/4"	Undefined									Unrated	
D-02	028	BEDROOM 01	2'-6"	6'-8"	1 3/4"	Undefined									Unrated	
D-03	016	LIVING ROOM	2'-4"	4'-0"	1 3/4"	Undefined									Unrated	
D-04	021	KITCHEN	3'-0"	6'-8"	1 3/4"	Undefined									Unrated	
D-05	022	MASTER BEDROOM	2'-4"	6'-8"	1 3/4"	Undefined									Unrated	
D-05	025	BEDROOM 02	2'-4"	6'-8"	1 3/4"	Undefined									Unrated	
D-05	032	HALL	2'-4"	6'-8"	1 3/4"	Undefined									Unrated	
D-06	028	BEDROOM 01	4'-0"	6'-8"	1 3/4"	Undefined									Unrated	
D-06	031	CL	4'-0"	6'-8"	1 3/4"	Undefined									Unrated	



**SABIR, RICHARDSON & WEISBERG
ENGINEERING & ARCHITECTURE**

<small>NEW YORK 37 W 38TH ST, 2ND FL NEW YORK, NY 10018 PHONE: (646) 863-6160</small>	<small>NEW JERSEY 531 WILLIAMSTOWN RD SICKLERVILLE, NJ 08581 PHONE: (609) 310-5500 FAX: (609) 310-5501</small>	<small>PENNSYLVANIA 417 N 8TH ST, STE 204 PHILADELPHIA, PA 19123 PHONE: (267) 585-2911</small>
<small>INFO@SRW-ENG.COM WWW.SRW-ENG.COM</small>		

SEAL & SIGNATURE

Capitol E. Seab (STATE) PERA#000000000000000000000000
(STATE) Certificate of Authorization #000000000000000000000000

CONSULTANTS

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
XX	XXXXXX	XXXXXXXXXXXXXX
XX	XXXXXX	XXXXXXXXXXXXXX

PROJECT & ADDRESS

**NEW HODGES AVE
39-45 HODGES AVE LAWNSIDE NJ
08045**

PLOT PLAN

CLIENT

**EQUIMAX DEVELOPMENT
COMPANY, LLC
170 WARWICK RD, N
LAWNSIDE, NJ 08045**

DRAWING TITLE

**DOOR LEGEND,
SCHEDULE & DETAILS**

MUNICIPAL STAMP	DESIGNED BY <NK >
	DRAWN BY <NK >
	CHECKED BY <CS >
	PROJECT NO. 2023-225
	SCALE <AS NOTED>
	DATE 2/18/2025
A-601 <30> OF <40>	

